

ADMINISTRATIVE INTERPRETATION
LEE COUNTY, FLORIDA

SOUTH SEAS RESORT DEVELOPMENT STATUS

WHEREAS, THE BOARD OF COUNTY COMMISSIONERS OF LEE COUNTY has requested the Director of the Department of Community Development (hereafter "Director") and the County Attorney to summarize and clarify the current status of development of a project known as South Seas Resort on property located on the northern end of Captiva Island, described more particularly as:

LEGAL DESCRIPTION: In Sections 15 and 22, Township 45 South, Range 21 East, Lee County, Florida:

See attached **Exhibit "A"**

Zoning District for South Seas Resort

WHEREAS, Section 2-1 of the Land Development Code (LDC) provides that the Director may make interpretations of an administrative nature concerning the procedure to be followed in unusual circumstances; and

WHEREAS, LDC Section 34-172(b) provides that the Director, in conjunction with the County Attorney's Office has the discretion to interpret and apply the provisions of Chapter 34 of the LDC (Zoning); and

WHEREAS, the Board of County Commissioners of Lee County originally approved a zoning district change for the subject property on November 20, 1973, by adopting Resolution Z-73-202, Case Number 73-10-33, which changed the zoning district for the subject South Seas Resort property from the RU-3 and RU-2 zoning districts to a unique zoning district, described particularly in Resolution Z-73-202 as "RU-3 using a PUD concept as a guid[e] with special limitation of 3 units per acre and special permit for up to 5 acres of commercial property" and, inter alia limited the development density for this zoning district to 912 units; and

WHEREAS, in conjunction with said Resolution the Board of County Commissioners of Lee County approved a master development plan for the South Seas Resort (hereafter 1973 SSRMDP) which detailed existing developed and future development areas within the unique zoning district approved for South Seas Resort or the South Seas Resort District (hereafter SSRD); and

WHEREAS, in 1973 Lee County's zoning regulations did not provide for a Planned Unit Development (hereafter PUD) zoning district classification per se, however, in 1978 the Board of County Commissioners adopted Resolution Z-1 (1978 Zoning Ordinance) revising the

scheme of zoning regulations for Lee County to include a PUD zoning district classification; and

WHEREAS, the 1978 Zoning Ordinance converted conventional RU-3 zoning districts to RM-2 zoning districts, but did not specifically convert the unique SSRD to either an RM-2 or PUD zoning district; and

WHEREAS, the 1978 Zoning Ordinance defined a PUD as:

A tract of land which is developed as a unit under single ownership or control and which is planned and developed in a single operation or within a proposed period of time by a series of scheduled development phases according to an officially approved Final PUD Development Plan, which does not necessarily correspond to the property development and use regulations of the conventional zoning districts but which permits flexibility in building siting, mixtures of housing types and land uses, and encourages the utilization of usable open space and the maintenance of significant natural features.

WHEREAS, in light of the PUD definition provided by the 1978 Zoning Ordinance, converting the SSRD to, or treating the SSRD as an RM-2 zoning district does not further the mutual intention of the Board of County Commissioners and the developers of South Seas Resort evident in Resolution Z-73-202 for the project to be developed as a PUD; and

WHEREAS, the developers of South Seas Resort have developed the subject property similarly to a PUD, in reliance on Resolution Z-73-202; and

WHEREAS, on January 18, 1984, the Lee County Board of County Commissioners adopted Resolution DSO 84-1 reaffirming "[t]here was site plan approval at the time the original P.U.D. was granted;" and granting on appeal an exemption from Development Standards Ordinance 82-42 to allow the relocation of the residential development area identified as Golf Villas on the 1973 SSRMDP from the originally approved location on the *Bay Island* Parcel to the *Resort Area* on the northernmost end of Captiva Island for the development of 68 residential units known as *Land's End Village*; and

WHEREAS, on July 23, 1985, Lee County Zoning and Development Review Division confirmed that, as a result of the developers of South Seas Resort timely applying for and receiving approval for a site plan under the previous F-0015 review procedure, South Seas Resort met the outlined requirements of and was deemed consistent with the Lee Plan; and

WHEREAS, the approved 1985 site plan included, as Sheet 1 of 16, a revised master plan showing as-built and proposed modifications to the 1973 SSRMDP; and

WHEREAS, the Lee County Zoning and Development Review Division outlined and accepted by in a letter dated June 24, 1987, a process for reviewing a detailed plan or plans for a particular development phase for substantial compliance with the SSRMDP, but did not provide for modification or revision of the SSRMDP itself; and

WHEREAS, the Board of County Commissioners of Lee County initiated and approved Resolution Z-90-91 to include particularly described areas of the property comprising the SSRD within the water-dependent overlay of the Lee Plan and provide that those particularly described areas would be treated as Marine Commercial zoning (CM) districts within the SSRD;

See attached **Exhibits “B” and “C”**

South Seas Resort Master Development Plan (SSRMDP) Amendment Procedure

WHEREAS, the Director is of the opinion that effective administration of requests to modify or change the SSRMDP as this resort destination evolves under the current and evolving zoning regulations necessary to effectively regulate contemporary land development in Lee County requires treating the SSRD similarly to a PUD, in accordance with Article VI, Division 10, Subdivision IV of the LDC; and

WHEREAS, Article VI, Division 10, Subdivision IV of the LDC provides a contemporary context for adequately and effectively regulating future development and administering future requests for development approvals in furtherance of the intention of the Board of County Commissioners and the developers of the South Seas Resort pursuant to Resolution Z-73-202; and

WHEREAS, the 1978 Zoning Ordinance authorized the Director to approve minor changes in the location, siting or height of buildings, structures and improvements authorized by the approved PUD final development plan; and

WHEREAS, the Board of County Commissioners of Lee County in 1989 amended the Zoning Ordinance to provide the Director with greater flexibility to amend PUD final development plans (see Ordinance 89-4); and

WHEREAS, the parameters set forth in Ordinance 89-4 regarding changes to PUD final development plans are currently codified in LDC Section 34-1038, which provides:

For any approved final PUD development plan for a PUD which does not specifically set forth those minor changes that may be approved by the director of the department of community development or any PUD development plan which has not received final approval prior to the effective date of the ordinance from which this subdivision is derived (July 6, 1987), minor changes (amendments) that may be approved by the department director include, in general, any change to the interior of the development which does not increase density or intensity (i.e., number of dwelling units or quantity of commercial or industrial floor area), or which does not decrease buffers or open space. The director shall not approve any change which results in a substantial underutilization of public resources and public infrastructure committed to the support of the development, nor shall the director approve any change which results in a reduction of total open space, buffering,

landscaping and preservation areas, or which adversely impacts on surrounding land uses.

Bayside Villas Lock-off Units

WHEREAS, during the review of South Seas Resort to provide the requested summary and clarification a question arose as to the number of units at *Bayside Villas* and within the SSRD, and Staff determined that 102 of the 912 maximum allowed residential living units were consistently allocated to the development area identified as Bayside Villas; and

WHEREAS, during the course of this review Staff determined that a portion of the 102 residential living units allocated to Bayside Villas have been and are being operated as lock-off accommodations; and

WHEREAS, lock-off accommodations have been regulated by Lee County Ordinances and counted as living units since 1974 (see Lee County Ordinances numbers 74-9, 78-7, and 82-44, and LDC Sec 34-1547); and

WHEREAS, the marking and use of the 102 units allocated to Bayside Villas as more than 102 units is counter to the SSRMDP and the density cap for the SSRD; and

WHEREAS, the developers and operators of South Seas Resort have voluntarily agreed through a Compliance Agreement with the Director to amortize the use of the units at Bayside Villas as lock-off accommodations in a manner acceptable to Lee County;¹ and

Five Acre Commercial Area and 2002 South Seas Resort Master Development Plan (2002 SSRMDP)

WHEREAS, during the review of South Seas Resort to provide the requested clarification a question arose as to the physical extents of the five (5) acres of commercial development permitted by Resolution Z-73-202; and

WHEREAS, at the request of the County, the developers submitted to the County a revised Master Development Plan (hereafter "2002 SSRMDP") showing the current as built/as approved configuration of the SSRD; and

WHEREAS, the 2002 SSRMDP clearly delineates the current extents of the five (5) acres of permitted commercial development within the SSRD and the perimeter boundary of the current extents of this commercial area have been separately described by metes and bounds to facilitate County verification of this acreage:

¹ This Compliance Agreement operates to eliminate separate use of portions of the Bayside Villas units as lock-off units—what are now being marketed as "Standard Sleeper Rooms," "Bayside Executive Studios," and "two-bedroom Bayside Villas". See www.south-seas-resort.com/accommodations/bayside.asp site last visited January 25, 2002.

See attached **Exhibit "D"**

WHEREAS, it is in the best interests of Lee County and the developers of South Seas Resort to summarize and clarify the current status of the South Seas Resort development so as to administer future development approval requests while avoiding possible misunderstandings; and

WHEREAS, the Director of the Department of Community Development has determined and the developers of South Seas Resort have agreed that:

1. Resolution Z-73-202, adopted on November 20, 1973 by the Lee County Board of County Commissioners, established a unique zoning district, hereafter referred to as the South Seas Resort District (SSRD).
2. In conjunction with Resolution Z-73-202, the Board of County Commissioners approved a master development plan, hereinafter South Seas Resort Master Development Plan (SSRMDP). The SSRMDP delineated ten (10) areas as *Beach Homes*, four (4) areas as *Beach Villas*, two (2) areas as *Golf Villas*, and three (3) areas as *Bayside Villas*, a *Golf Course*, *Resort area*, *Commercial area*, *Tennis Villas area*, *Employee Housing area*, *Boat Basin area*, and *Plantation Preserve area* as well as areas of Existing Mangrove. Additionally the approved master plan identified locations for Sewage Treatment & Wastewater Recycling, Boardwalks, an Observation Tower, Indian Mound, golf holes, lakes, roadways, and docking facilities.
3. Contemporaneous to the adoption of Resolution Z-73-202, the developers made the following representations to Lee County Staff, the Zoning Board, the Board of County Commissioners, and the Public, which representations constitute enforceable conditions of the SSRD:
 - a. Development of the SSRD will evolve over a number of years in line with several very basic guidelines: very low density development utilizing a number of small scale clusters; carefully planned and tightly controlled development; preservation of bayou shoreline and mangrove areas; Emphasis on pedestrian traffic, not automobiles.
 - b. The project will be limited to 912 residential units (304 acres at three units per acre) and five (5) acres of commercial development.
 - c. Four (4) miles of mangrove and bayou shoreline will be preserved by clustering higher density into smaller development areas with greenbelt separations.
 - d. A 20 acre *Plantation Preserve* parcel, a natural area to be accessible by wooden walkways that will include instructional stopping points describing the origin and type of vegetation in a bayou area will be set aside.
 - e. Employee housing accommodations will be developed.

4. Since the inception of the SSRD, the developers of South Seas Resort have allocated units to various projects throughout the district and allocated, *inter alia*, 102 units to Bayside Villas and 26 units to the South Seas Plantation Homesites subdivision.
5. On January 18, 1984, the Lee County Board of County Commissioners adopted Resolution DSO 84-1 granting an exemption from the Development Standards Ordinance 82-42 (hereafter "DSO") for the relocation of the Golf Villas from the originally approved location on the *Bay Island Parcel* to the north end of the *Resort Area* for the development of 68 residential units known as *Land's End Village*.
6. In 1985, the developers of South Seas Resort timely requested and received a Lee Plan Consistency Determination. Included with this request were a cover letter, eight (8) page Project Overview, a Tabulation of Dwelling Units at South Seas Resort, and a 16 sheet, 24" x 36" plan package entitled "Construction Plans for South Seas Plantation" (hereafter "1985 plan package"). At that time, the SSRD was deemed consistent with the Lee Plan.
7. The 1985 cover letter noted it was "likely to take an additional three to five years to complete the development in accordance with the approved Master Plan," and that the developer was submitting building permit applications and drawings for review simultaneously.
8. The 1985 Project Overview to some extent reiterated and modified the developer's 1973 representations, providing six (6) guidelines for development, 4 basic types of projects proposed for the final phases of development, a series of descriptions for each individual phase included in the 1985 plan package, and a summary, a Tabulation of Dwelling Units, and an accompanying narrative.
9. The 1985 plan package included the following modifications to the 1973 SSRMDP for the overall plan of development for the SSRD:
 - a. Graphic designations of vegetation were removed. See Sheet 1 of 16.
 - b. The legend was changed from colored to hatchured and expanded to include *Beach Homesites, Marina Villas, Commercial, Resort Complex, Employee Housing, Resort Services Facilities*; and *Beach Villas* was modified to *Beach Villas and Plantation Villas*. See Sheet 1 of 16.
 - c. The *Golf Villas* were depicted on the northern end of the northernmost peninsular area (to reflect the relocation of the *Golf Villas* and their development of *Land's End Villas*)² and the golf holes in that area were reconfigured. See Sheet 1 of 16.

² See Resolution DSO 84-1, County Commission Minutes Book 141 pp 34-35

- d. An area designated *Resort Complex* generally corresponding to the Resort area of the 1973 SSRMDP was identified, see Sheet 1 of 16; and a Paving, Grading, Drainage, and Utility Plan for Plantation House II, see Sheet 2 of 16, and a Paving, Grading and Drainage Plan for Harbourside III, see Sheet 3 of 16, and a Utility Plan for Harborside III were provided. See Sheet 4 of 16.
- e. An area on the northern end of the most northeastern peninsula or *Bay Island Parcel* was identified as *Resort Complex*, see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for 18 one- and two-story hotel units to be known as *Harbour Pointe*. See Sheet 5 of 16.
- f. A *Marina Villas* area was depicted on the northern peninsula of the land southeasterly and adjacent to the northern Marina and the golf holes in that area reconfigured. See Sheet 1 of 16.
- g. Two areas south of the northern *Resort Complex* area were also designated "Resort Complex," see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for a new *Estate Residence*³ and *Health Club*. See Sheet 6 of 16.
- h. The northern areas designated *Beach Villas and Plantation Villas* were modified from the 1973 SSRMDP to show one smaller area on the east side of the road and one larger area on the west side of the road, see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for two 1-1/2 story duplex units identified as *Plantation Bay Villas* on the east side of the road and one four-plex, two stories over parking identified as *Plantation Beach Villas* on the west side of the road. See Sheet 7 of 16. The larger *Beach Villas and Plantation Villas* area on the west side of the road on Sheet 1 of 16 included property not included in the SSRD. Cf. 1973 SSRMDP.⁴
- i. Three new areas, two on the *Plantation East* (aka *Bay Island*) *Parcel* and one in the general area of the *Commercial* and *Bayside Villas* areas of the 1973

³ The *Estate Residence* was erroneously excluded from the Tabulation of Dwelling Units, and thus an additional residential unit should be counted against the total 912 allocation.

⁴ As developed, this northern *Beach Villas and Plantation Villas* area is comprised of two resort residential projects known as *Sandrift* and *Plantation Beach Club* (PBC), with PBC encompassing the majority of the development area. While PBC was developed with a total of 56 total units, a portion of the project—PBC II, Phase 1, an eight (8) unit building—was constructed on a parcel of land acquired by the developers subsequent to the 1973 zoning approval and not included within the SSRD. Thus the total number of PBC units within the SSRD which may be counted against the total 912 allocation is 48 and the 1985 plan package Tabulation of Dwelling Units total of 56 is in error.

SSRMDP were designated *Resort Services Facilities*, see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for a Proposed Addition to Sewage Treatment Plant. See Sheet 8 of 16.

- j. The areas designated *Beach Homesites* were modified from the 1973 SSRMDP to show the area platted and developed as South Seas Plantation Beach Homesites, Plat Book 29, Page 106, Public Records of Lee County, Florida. See Sheet 1 of 16.
 - k. The areas designated *Beach Homes* were modified to reflect the as-built development areas. See Sheet 1 of 16.
 - l. The southern area designated *Beach Villas and Plantation Villas* was modified from the 1973 SSPMPD to combine *Beach Homes* and *Beach Villas* development areas. See Sheet 1 of 16.
 - m. The *Commercial* area and the *Tennis Villas* area were revised to generally reverse their positions as shown on the 1973 SSRMDP and *Bayside Villas* was reduced from three (3) areas to two (2) to reflect the as-built development areas, see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for Chadwick's Commercial, Restaurant, and Meeting Rooms. See Sheet 10 of 16.
 - n. The *Employee Housing* area was revised and modified, see Sheet 1 of 16, and a Paving, Grading, Drainage and Utility Plan provided for Employee Housing/Human Resources and Employee Housing Phase Four. See Sheet 9 of 16.
 - o. Typical Details and Notes with respect to paving, grading, drainage and utilities were also provided. See Sheets 11 through 16 of 16.
- 10. In 1987, the developers of South Seas Resort, in conjunction with a proposal to County Staff of a procedure for plan review and final inspection in the SSRD in light of the process provided under the DSO and the exemption granted the project under Resolution DSO 84-1, submitted a new overview of the master plan, updating the 1985 Project Overview, and a revised Tabulation of Dwelling Units, updating the 1985 Tabulation of Dwelling Units..
 - 11. The June 24, 1987, Lee County Zoning and Development Review Division letter agreed to a process for reviewing a detailed plan or plans for a particular development site or phase for substantial compliance with the SSRMDP, but did not provide for modification or revision of the SSRMDP itself.
 - 12. As the exemption granted under DSO 84-1 was directed at the relocation of the dwelling units for *Land's End Village*, the procedure outlined in staff's June 24, 1987 letter is no longer an effective procedure under current County standards.

13. Mariner's purchase of the Hanchar property and the variance granted by BZA-86-46 does not affect the total number of units permitted within the SSRD (912), however, construction of Sanddrift (aka Plantation Beach Villas within the SSRD allocated four (4) of the 912 SSRD units to that development.
14. The parcel on which the *Estate Residence* was constructed is within the SSRD and one (1) residential dwelling unit will be counted against the total 912 allocation of dwelling units
15. The *Plantation Beach Club II, Phase 1* building, was constructed on a parcel not included within the SSRD, and the eight (8) units it contains will not be counted against the total 912 allocation of dwelling units.
16. The current allocation of units to the various development areas is:

<u>Area Name</u>	<u>Number of Units</u>
1. Bayside Villas	102
2. Tennis Villas	60
3. Employee Housing	140
4. Beach Villas	160
5. Beach Cottages	26
6. Beach Homes	33
7. Beach Homesites	26 ⁵
8. Sandrift (aka Plantation Beach Villas)	4
9. Plantation Beach Club	48
10. Plantation Bay Villas	4
11. Marina Villas	40
12. Harbourside Villas	107
13. The South Seas Club	24
14. Cottages at South Seas Plantation	14
15. Plantation House Phase I	12
16. Seabreeze (aka Plantation House Phase II)	8

⁵ The developers of the South Seas Resort have allocated 26 units to the Beach Homesites area. Only 24 units have been constructed to date. In 1999, the Lee County Hearing Examiner granted Lot 21 of this subdivision a variance from the building height limitations of LDC Section 34-2175(2). VAR963127 aka 99.05.144.05V 01.01. LDC Section 34-2175(2) was subsequently amended to prohibit such grant of variance. Lee County Ordinance 99-13.

17. Land's End Village (aka Golf Villas)	68
18. Estate Residence	1
19. Harbour Pointe	18
TOTAL ALLOCATED DWELLING UNITS	895
TOTAL APPROVED DWELLING UNITS	912
TOTAL DEVELOPED DWELLING UNITS	877 ⁶
TOTAL UNDEVELOPED DWELLING UNITS	35

17. There is evidence to conclude that, when used as lock-off units, Bayside Villas provides more than the 102 units allocated to that development phase by the current schedule allocating the 912 SSRD units.
18. The use of lock-off units on Captiva Island is regulated by LDC Section 34-1547.
19. It is in the best interests of the developers and operators of South Seas Resort and Lee County that the design and use as lock-off accommodations of the 102 units allocated to Bayside Villas be amortized. The developers of South Seas Resort have proposed and the County has agreed to a program for timely amortization of the design and use of these units as lock-off accommodations through a Compliance Agreement acceptable to the County.
20. The County-initiated zoning action memorialized by Resolution Z-90-91 established within the SSRD two (2) specific water-dependent overlay Marine Commercial (CM) zoning districts as a part of the SSRD, but that zoning action had no effect on the density or number of units approved within the SSRD.
21. LDC Section 34-1038 provides an effective procedure for reviewing proposed modifications or revisions to the SSRMDP and SSRD for compliance with Chapter 34 of the LDC.

WHEREAS, THE PURPOSE OF THIS ADMINISTRATIVE INTERPRETATION IS TO SUMMARIZE AND CLARIFY ALL PRIOR APPROVALS INTO ONE COMPREHENSIVE DOCUMENT DETAILING WHAT DEVELOPMENT CURRENTLY EXISTS, CLARIFY WHAT ADDITIONAL DEVELOPMENT MAY BE PERMITTED, AND PROVIDE FOR A REASONABLE METHOD FOR THE COUNTY TO REVIEW REQUESTS FOR FUTURE DEVELOPMENT APPROVALS TO MODIFY OR CHANGE THE MASTER DEVELOPMENT PLAN ADOPTED BY RESOLUTION Z-73-202;

NOW, THEREFORE, the Director of Community Development has determined:

⁶ Of the 877 developed units, to date only 875 have been constructed. Supra note 5.

1. The development of 912 residential units within the SSRD, the extents of which are described in attached Exhibit "A," together with the following Tabulation of Dwelling Units for the allocation of these dwelling units within the SSRMDP is approved:

<u>Area Name</u>	<u>Number of Units</u>
1. Bayside Villas	102
2. Tennis Villas	60
3. Employee Housing	140
4. Beach Villas	160
5. Beach Cottages	26
6. Beach Homes	33
7. Beach Homesites	26 ⁷
8. Sandrift (aka Plantation Beach Villas)	4
9. Plantation Beach Club	48
10. Plantation Bay Villas	4
11. Marina Villas	40
12. Harbourside Villas	107
13. The South Seas Club	24
14. Cottages at South Seas Plantation	14
15. Plantation House Phase I	12
16. Seabreeze (aka Plantation House Phase II)	8
17. Land's End Village (aka Golf Villas)	68
18. Estate Residence	1
19. Harbour Pointe	18
TOTAL APPROVED ALLOCATED DWELLING UNITS	895
TOTAL APPROVED DWELLING UNITS	912
TOTAL DEVELOPED DWELLING UNITS	877⁸

⁷ Id.

⁸ Id.

2. The existing commercial development within a 5 acre area the perimeter boundaries of which are described in attached Exhibit "D" is approved.
3. The existing Marine Commercial development within the two areas, the perimeter boundaries of which are described in attached Exhibits "B" and "C" is approved.
4. Except as specifically conditioned herein, the following development standards applicable to the SSRD, based on standards that have been applied since its inception in 1973 are approved:
 - a. **Open space:** Of the 304± acres⁹ that make up the SSRD, approximately one third is set aside as open space (this 100+ acres includes now privately owned uplands, wetlands, and submerged lands). Additionally there is an allocation of open space for those lands seaward of the coastal construction control line, currently in excess of 15 acres. The South Seas Golf Course and other recreational lands supplement the beachfront and preservation land categories such that a minimum of 50% (approximately 152 acres) of the overall property is allocated to Open Space. Therefore, no minimum amount of Open Space is required per individual parcel.
 - b. **Landscape:** Emphasis will be placed on the use of native species. Canopy trees for shading and trees and/or shrubs for the screening of service areas or for privacy will be used to the extent possible. The final plant selection and placement shall be at the discretion of the owner working in concert with County staff. The use of invasive exotics is prohibited.
 - c. **Buffers:** There will be a natural (mostly mangrove) shoreline buffer along the bay waters of the SSRD. Specifically, that natural buffer shall be a minimum of 35' wide (except to the extent that the existing South Seas Road or Bay Drive (leading to Harbour Pointe) may currently encroach into and therefore reduce that 35' buffer). Where it is within or proximate to approved development areas, the natural buffer may be subject to a number of existing small openings as necessary for helicopter, vehicular, boat, pedestrian, and/or utility access, and trimming in accordance with State Standards for Mangrove Trimming where permitted. There is no buffer required along the bay waters extending from the southeasterly tip of the Harbour Pointe site continuing across the marina entrance channel and along the bay waters to Redfish Pass. There shall be no

⁹ The developers have had the property surveyed since 1973 and the greater accuracy of contemporary surveying has determined that the overall acreage is greater than indicated in 1973. This new, larger total acreage does not in any way modify the total maximum of 912 residential dwelling units permissible in the SSRD.

required minimum buffer between residential parcels internal to the development.

- d. **Setbacks:** Captiva Drive Southwest—minimum 25' to edge of right-of-way.
South Seas Road—minimum 10' to edge of pavement, excluding security building, signs, walls and other entrance features, when consistent with LDC site visibility requirements.
Internal Driveways—no minimum setbacks required
Building to External Property Line:
 —minimum 10' with minimum 6' high wall and vegetation buffer
 —minimum 15' with minimum 6' high wall or vegetation buffer
 —minimum 20' without wall or vegetation buffer
Building to Internal Property Line—no minimum setback required
Building to Bay Waters
 —minimum 25' setback from mean high tide line
Building to Waters of Gulf of Mexico
 —minimum 50' from mean high tide line
Building to Natural or Manmade Lake, Pond, Bayou, Canal, or Marina
 —no minimum setback required for buildings redeveloped within existing building footprints; 25' for any new buildings.
Building to Building Separation
 —minimum 10' separation unless additional separation is required by Building/Fire Code
Accessory Structures including Fences and Walls
 —for walls or structures 8' or less in height above grade. No minimum setback required
 —for walls or structures over 8' in height above grade, the setback shall be the same as set forth above for Buildings, except as to water bodies where there will be no setbacks required.
 —there shall be no minimum required separation between walls and accessory structures or one accessory structure and another.
- e. **Building Heights:** (These standards are applicable to all new structures except those being replaced under the existing Lee County build-back provisions of the Land Development Code) maximum height to the top of a parapet wall, roof, or mid-point of a pitched roof of no less than 4:1 and no more than 7:1 shall be the lesser of 35' above the grade surrounding the building at its foundation or 42' above mean sea level.
- f. **Traffic Impact Statements (TIS):** A traffic impact statement shall be required for any development that includes new residential dwelling units or includes more than 500 square feet of retail/commercial square footage. Because of the SSRD's vested status for purposes of concurrency (established via

Determination of Consistency with the Lee Plan in 1985), the data provided to the County in such TIS are intended for information purposes only. Approval of TIS is not a precursor to approval of proposed development plans. The concurrency vesting is limited to the SSRD, as approved under this interpretation.

- g. **Parking:** (These standards recognize the developers long standing commitments to transportation alternatives to the automobile on Captiva, including pedestrian and bicycle transportation via the pathways provided throughout the SSRD and the provision of up to 18 hours of daily free tram service.)

General

- Individual parking spaces will be no less than 9' wide by 18' deep.
- The appropriate number of handicap spaces will be provided in convenient locations in compliance with Lee County and State of Florida Handicapped Codes and the intent of ADA Guidelines.
- Any proposed reduction or reconfiguration of the as-built/as approve parking spaces provided contemporaneous to this interpretation is subject to a limited review development order to assure that the current inventory of parking is not reduced and additional parking is provided in the proportions for resort uses as required below.

Residential

- Single family/duplex will have a minimum of 2 off-street parking spaces per unit.
- Multi-family housing (whole ownership/timeshare/etc) will have a minimum of 1 parking space per dwelling unit plus a minimum of 1 guest/service parking space for every 10 dwelling units.
- Hotel/Motel units and employee rental apartments shall have a minimum of 1 parking space for every 2 dwelling units plus 1 guest/service parking space for every 10 dwelling units.

Commercial

- Activities/facilities internal to the resort and used almost exclusively by resort owners and guests (i.e. marina, golf course, tennis, retail, resort area restaurants, conference facilities, etc.) have no minimum required number of spaces.
- Activities/facilities within the designated five (5) acre Commercial Area at the south end of the property, except for conference facilities, shall be required to provide a minimum of 1 parking space per 1000 square feet of retail, restaurant/lounge or commercial use (excluding kitchens and other back of house areas and service facilities).

- h. **Construction Standards (other than for buildings):**

–Roads, driveways, walks, bike paths, seawalls, etc. shall be built in accordance with sound engineering design standards typical of those facilities

constructed within the SSRD during the past 28 years, subject to review and approval by County staff through the limited review development order process.

i. **Stormwater Management:**

—The standards of the existing approved SSRMDP as authorized and permitted by the South Florida Water Management District, or as they may be amended in the future, shall govern the surface water management elements of future development in the SSRD.

j. **Other:** Except as otherwise noted herein, the applicable standards of the Lee County Land Development Code shall apply within the SSRD

5. The 2002 SSPMPD, as revised July 22, 2002, stamped approved July 30, 2002, is approved **with the following conditions:**

- a. Current and future development within the SSRD will
1. be limited to a development density of 912 units utilizing a number of small scale clusters;
 2. be carefully planned and tightly controlled;
 3. provide for a self-support capability in terms of facilities and service needed;
 4. emphasize pedestrian movement, not automobile traffic;
 5. preserve shoreline and mangrove areas, including 2.5 miles of beach, 3.5 miles of bayou shoreline, and 20 acres of *Plantation Preserve* mangrove forest; and
 6. demonstrate leadership in rational development techniques in advance of proposed or enacted legislation; and
 7. provide and maintain a balance of dwelling units, amenities, and service facilities for the benefit of the entire community (SSP owners and guests, Captiva, and Lee County).
- b. The final phases of development in the SSRD include three (3) basic types of projects in accordance with the SSRMDP and the allowed limits:
1. upgrading of resort service facilities;
 2. development of small scale clusters of residential units;
 3. Improvements to guest facilities.

These include development and redevelopment of resort service facilities and guest facilities, including utilities and other infrastructure.

- c. The Beach Pavilion described in the 1985 plan package is not approved
- d. Other than as discussed in the letter from the Lee County Attorney's Office dated June 11, 1992, no wetland impacts are authorized by the SSRMDP. Prior to proposing amendments to the SSRMDP for development that may

encroach on wetlands—including but not limited to any expansion of the Harbour Pointe development area—the developers will initiate an environmental study adequate to evaluate the feasibility of such development in wetlands.

- e. The reallocation of any of the currently existing dwelling units or the development of the unallocated dwelling units is permissible by administrative action if such reallocation or development accords with the requirements of LDC Section 34-1038(a)
 - f. Guest access and resort services to the *Harbour Pointe* development area will be via launch from the existing northern marina, and the existing service road will be used for emergency access.
 - g. Employee housing will be provided and included in the total approved dwelling units in the SSRD.
6. This Administrative Interpretation and the attached 24" x 36" set of plans, entitled **2002 Master Development Plan South Seas Resort** bound together with all attendant plan sheets, signed by the Director and comprises the SSRMDP, in attached Exhibit "E".
7. To memorialize this Administrative Interpretation and guide future development review in accordance with this Interpretation, the Official and Current Zoning Maps will be revised to label the SSRD and a note added to reference this Interpretation.
8. Proposed revisions to the approved 2002 SSRMDP will be reviewed as changes to a PUD master development plan in accordance with LDC Section 34-1038.
9. Plan review and inspections for future specific development approval requests will be reviewed for consistency with the SSRMDP under the provisions of the LDC, however, these requests will be reviewed as limited review development orders. At the discretion of the Director, a given development approval request may be required to be submitted as a full development order.

DULY SIGNED this 30th day of July, A.D., 2002.

BY: Mary Gibbs
Mary Gibbs, Director
Department of Community Development

APPROVED AS TO FORM BY: Timothy Jones
Timothy Jones
Assistant County Attorney

LEGAL DESCRIPTION
SOUTH EAS PLANTATION - CAPTIVA ISL
SCHEDULE "A"

October 23, 1973

PARCEL 1: Hunt

A lot or parcel of land lying in Government Lot 1, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the South line of said Lot 1 near the West shore of Bryant Bayou run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run along a road North 23° 54' 30" West for 39.1 feet and North 8° 50' 00" West for 673.6 feet to a point from which an artesian well bears South 43° 42' East distant 49.8 feet; thence run North 7° 40' 00" West for 886.2 feet passing over an iron pipe at 799.2 feet; thence run North 77° 03' 30" East for 395.5 feet to an iron pin set in concrete; thence run North 89° 52' East for 96.4 feet; South 38° 52' West for 33.6 feet; South 0° 08' East for 62.92 feet; South 51° 08' East for 109.4 feet; thence North 38° 52' East for 175 feet to the point of beginning of the lands hereby conveyed.

From said point of beginning run South 38° 52' West for 175 feet; South 51° 08' East for 91 feet North 38° 52' East for 122.2 feet; and North 54° 42' East for 84 feet more or less to the waters of Pine Island Sound; thence run Northwesterly along said waters to an intersection with a line through the point of beginning bearing North 80° 52' East; thence run South 80° 52' West for 51 feet more or less to the point of beginning; together with all riparian rights appurtenant thereto; being Parcel No. 4 shown on the plat attached to instrument recorded in the Public Records of Lee County, Florida, in Miscellaneous Book 31 at page 225. All bearings hereinabove mentioned are plane coordinate for the Florida West Zone.

PARCEL 2: Kincaid

A lot or parcel of land lying in Government Lot 1, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the South line of said Lot 1 near the West shore of Bryant Bayou run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run along a road North 23° 54' 30" West for 39.1 feet and North 8° 50' 00" West 673.6 feet to a point from which an artesian well bears South 43° 42' East distant 49.8 feet; thence run North 7° 40' 00" West for 886.2 feet, passing over an iron pipe at 799.2 feet; thence run North 77° 03' 30" East for 395.5 feet to an iron pin set in concrete; thence run North 89° 52' East for 96.4 feet; South 38° 52' West for 33.6 feet, South 0° 08' East for 62.92 feet; South 51° 08' East for 34.4 feet and North 38° 52' East for 175 feet to the point of beginning of the lands hereby conveyed.

From said point of beginning run South 38° 52' West for 175 feet, South 51° 08' East for 75 feet, North 38° 52' East for 175 feet and

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North 80° 52' East for 51 feet more or less to the waters of Pine Island Sound; thence run Northwesterly along said waters to an intersection with a line through the point of beginning bearing North 80° 52' East; thence run South 80° 52' West along said line for 65 feet more or less to the point of beginning; together with all riparian rights appurtenant thereto; being Parcel No. 3 shown on the plat attached to instrument recorded in the Public Records of Lee County, Florida, in Miscellaneous Book 31, at page 215. All bearings hereinabove mentioned are plane coordinate for the Florida West Zone.

PARCEL 3: Captiva Island Company

Government Lot 1, Section 22, Township 45 South, Range 21 East, Captiva Island, Lee County, Florida, excepting therefrom the following described parcels:

From a concrete post on the South line of Government Lot 1 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run North 23° 54' 30" West along the West side of a public road for 39.1 feet; thence run North 08° 50' 00" West for 673.6 feet to a point from which an artesian well bears South 43° 42' 00" East a distance of 49.3 feet; thence run North 07° 40' 00" West for 886.2 feet passing through an iron pipe at 799.2 feet; thence run North 77° 03' 30" East for 395.5 feet to an iron pin set in concrete; thence run South 00° 08' 00" East for 63.1 feet; thence run North 89° 52' 00" East for 75.25 feet; thence run South 00° 08' 00" East for 25.92 feet; thence run South 51° 08' 00" East for 34.4 feet; thence run North 38° 52' 00" East for 175.00 feet to the point of beginning of the herein described exception. From said point of beginning run South 38° 52' 00" West for 175.00 feet; thence run South 51° 08' 00" East for 166 feet; thence run North 38° 52' 00" East for 122.2 feet; thence run North 54° 42' 00" East for 84 feet, more or less, to the waters of Pine Island Sound, passing through an iron pin at 76.3 feet; thence run Northwesterly along said waters to an intersection with a line bearing North 80° 52' 00" East passing through the point of beginning; thence run South 80° 52' 00" West for 65 feet more or less, to the point of beginning passing through an iron pin at 55 feet from said point of beginning.

ALSO excepting therefrom the following described parcel:

From said concrete post on the South line of said Lot 1 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 32.57 feet to the Easterly side of a public road by user 30 feet wide; thence run North 22° 04' 40" West along said public road for 6.38 feet; thence run North 12° 19' West along said Easterly side for 386.16 feet to the point of beginning of the herein described exception. From said point of beginning run North 8° 50' West along said Easterly line for 136.24 feet; thence run North 89° 27' East for 227 feet, more or less, to the waters of a bayou; thence run Southeasterly along said waters to an inter-

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section with a line bearing North 89° 27' East passing through the point of beginning; thence run South 89° 27' West for 243 feet, more or less to the point of beginning.

ALSO excepting therefrom the following described parcel:

Beginning at a concrete post on the South line of Government Lot 1, near the West shore of Bryant Bayou run North 81° 30' 10" West along said South line for 220.4 feet to a concrete post; thence continue on the same course for 32.57 feet to said Easterly side of said public road 30 feet wide; thence run North 22° 04' 40" West along said Easterly side for 6.38 feet; thence run North 12° 19' West along said Easterly side for 284.01 feet; thence run North 89° 27' East for 288 feet, more or less, to the waters of Bryant Bayou; thence run Southerly along said waters to an intersection with the said South line of Government Lot 1; thence run North 81° 30' 10" West for 20 feet, more or less, to the point of beginning.

NOTE: shore shown on original as short

ALSO excepting therefrom the following described parcel:

From said concrete post on the South line of said Lot 1 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.40 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run North 23° 54' 30" West for 39.1 feet to a point on the Westerly side of said road and the point of beginning of the herein described exception. From said point of beginning run North 12° 19' West for 346.27 feet; thence run North 08° 50' West along said West line for 251.50 feet to the Southeast corner of a pedestrian easement 30 feet wide as described in Official Record Book 22 at page 486 of said Public Records; thence run South 89° 27' West along said South line of said easement for 390 feet more or less to the waters of the Gulf of Mexico; thence run Southerly along said waters to an intersection with the South line of Government Lot 1; thence run Easterly along said South line of Government Lot 1 to the Westerly line of said public road; thence run Northerly along said Westerly line to the point of beginning.

ALSO:

A parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East which lot or parcel is described as follows:

From a concrete post on the North line of said Government Lot 3 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run North 23° 54' 30" West for 39.1 feet to an iron pin on the West side of a public road; thence run South 12° 19' 00" East along said West line of said public road for 43.40 feet; thence run South 22° 04' 40" East along said West line for 444.34 feet to the point of beginning of the lands herein described. From said point of beginning continue South 22° 04' 40" East along said West line for 146.79 feet; thence run South 00° 27' 00" East along said West line for 165.64 feet; thence run South 89° 27' 00" West along the North line of the lands conveyed by deed recorded in Official Record

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Book 49 at page 422, of said Public Records, parallel with and 800.00 feet North of the South boundary of the lands conveyed by Deed recorded in Deed Book 209 at pages 71 and 72 of said Public Records for 290 feet, more or less, to the waters of the Gulf of Mexico, passing through an iron pin at 200.17 feet; thence run Northwesterly along said waters to an intersection with a line bearing South 89° 27' 00" West passing through the point of beginning; thence run North 89° 27' 00" East along said line along the South line of the lands conveyed by deed recorded in Deed Book 260 at page 76 of said Public Records for 402 feet, more or less, to the point of beginning passing through an iron pin at 365.25 feet from the point of beginning.

ALSO:

A parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the North line of said Government Lot 3 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run North 23° 54' 30" West for 39.1 feet to an iron pin on the West side of a public road; thence run South 12° 19' 00" East along said West line of said public road for 43.40 feet; thence run South 22° 04' 40" East along said West line for 591.13 feet; thence run South 0° 27' 00" East along said West line for 265.64 feet to the point of beginning of the lands herein described. From said point of beginning continue South 0° 27' 00" East along said West line for 100 feet; thence run South 89° 27' West for 223 feet, more or less, to the waters of the Gulf of Mexico; thence run Northwesterly along said waters to an intersection with a line bearing South 89° 27' West along said line along the South line of the lands conveyed by deed recorded in Official Record Book 49 at page 422 of said Public Records for 260 feet, more or less, to the point of beginning.

ALSO:

A parcel of land lying in Governments Lots 3 and 4, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the North line of said Lot 1 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 32.57 feet to the Easterly side of a public road; thence run South 22° 04' 40" East along said Easterly line for 447.23 feet to the point of beginning of the lands herein described. From said point of beginning continue Southeasterly and Southerly along said Easterly line of said public road to an intersection with the South line of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of said Public Records; thence run North 89° 27' East along said South line and an Easterly prolongation to the East line of said Section 22; thence run North along said East line to the Northeast corner of Government Lot 4; thence run North 81° 30' 10" West to the Westerly shore of Bryant Bayou; thence run Southerly along said West shore to an intersection with a line bearing North 89° 27' East passing through the point of beginning; thence run

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South 89° 27' West along said line for 182 feet, more or less, to the point of beginning.

ALSO:

All that part of said Government Lot 4 and Government Lot 5 of said Section 22 lying Southerly of said South line of the lands described in Deed Book 209 at pages 71 and 72 of said Public Records and lying Easterly of a Northerly arm of Chadwick Bayou.

ALSO:

All of Government Lot 1, Section 23, Township 45 South, Range 21 East.

ALSO:

All of the submerged lands of Pine Island Sound and Chadwick Bayou lying between the Mean High Water Line and the bulkhead line approved by the Board of Lee County Commissioners of Lee County, Florida, on May 22, 1968, which bulkhead line is more particularly described as follows:

From the unsurveyed corner common to Sections 22, 23, 26 and 27, Township 45 South, Range 21 East, run North 8° 29' 50" East along the line common to Sections 22 and 23 for 1435.7 feet to an intersection with an Easterly prolongation of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of the Public Records of Lee County; thence run South 89° 27' West along said prolongation for 710.82 feet to an intersection with the bulkhead line as recorded in County Commission Minute Book 23 at pages 54 A-D of said Public Records and the point of beginning of the herein described bulkhead line. From said point of beginning run Northerly and Northwesterly along the arc of a curve to the left of radius 100.94 feet (chord bearing North 45° 34' 40" West) for 179.11 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the right of radius 73 feet (chord bearing North 53° 28' 50" West) for 109.39 feet to a point of tangency; thence run North 10° 33' West for 126.80 feet to a point of curvature; thence run Northwesterly, Northerly, Northeasterly, Easterly and Southeasterly along the arc of a curve to the right of radius 35 feet (chord bearing North 66° 57' 00" East) for 94.68 feet to a point of reverse curvature; thence run Southeasterly along the arc of a curve to the left of radius 191.45 feet (chord bearing South 54° 18' East) for 125.30 feet to a point of tangency; thence run South 73° 03' 00" East for 163.07 feet to a point of curvature; thence run Southeasterly along the arc of a curve to the right of radius 150 feet (chord bearing South 45° 25' 30" East) for 144.64 feet to a point of tangency; thence run South 17° 48' East for 130 feet; thence run Southeasterly, Southerly and Southwesterly along the arc of a curve to the right of radius 150 feet (chord bearing South 9° 57' West) for 145.30 feet to a point of reverse curvature; thence run Southwesterly, Southerly and Southeasterly along the arc of a curve to the left of radius 150 feet (chord bearing South 0° 31' 20" East) for 200.13 feet to a point of tangency; thence run South 38° 44' 40" East for 145.60 feet to a point of curvature; thence run Southeasterly along the arc of a curve to the right of radius 680 feet (chord bearing South 20° 09' 40" East) for 441.10 feet to a point of reverse curvature; thence run Southeasterly and Easterly along the arc of

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a curve to the left of radius 241.48 feet (chord bearing South 39° 41' 20" East) for 321.25 feet to a point of tangency; thence run South 77° 48' 00" East for 425.21 feet to a point of curvature; thence run Southeasterly, Easterly and Northeasterly along the arc of a curve to the left of radius 250 feet (chord bearing North 58° 27' East) for 381.79 feet to a point of tangency; thence run North 14° 42' 00" East for 244 feet to a point of curvature; thence run Northeasterly along the arc of a curve to the left of radius 200 feet (chord bearing North 5° 12' East) for 66.52 feet to a point of tangency; thence run North 4° 18' West for 286 feet to a point of curvature; thence run Northwesterly along the arc of a curve to the left of radius 200 feet (chord bearing North 13° 53' 30" West) for 66.96 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the right of radius 397.28 feet (chord bearing North 4° 04' 00" West) for 269.26 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the left of radius 175.97 feet (chord bearing North 10° 34' 30" West) for 159.24 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the right of radius 540 feet (chord bearing North 16° 37' 30" West) for 374.63 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the left of radius 220 feet (chord bearing North 4° 22' 30" West) for 58.56 feet to a point of tangency; thence run North 12° West for 638 feet to a point of curvature; thence run Northwesterly along the arc of a curve to the left of radius 150 feet (chord bearing North 23° West) for 57.60 feet to a point of tangency; thence run North 34° West for 290.84 feet to an intersection with said line common to Sections 22 and 23 at a point 122.0 feet North of the Southeast corner of Government Lot 1 of said Section 22; thence continue North 34° West for 690.39 feet to a point of curvature; thence run Northwesterly along the arc of a curve to the right of radius 500 feet (chord bearing North 32° 53' 55" West) for 19.22 feet to a point of tangency; thence run North 31° 47' 50" West for 591.34 feet to a point of curvature; thence run Northwesterly along the arc of a curve to the left of radius 1400 feet (chord bearing North 35° 16' West) for 169.55 feet to a point of tangency; thence run North 38° 44' 10" West for 497.24 feet to a point of curvature; thence run Northwesterly, Westerly and Southwesterly along the arc of a curve to the left of radius 25 feet (chord bearing North 89° 56' 05" West) for 44.68 feet more or less to an intersection with the Mean High Tide Line on the Easterly shore of Captiva Island and the end of the herein described bulkhead line.

ALSO:

The following described real estate, situate, lying and being in Lee County, Florida, to-wit:

All of Government Lot 3, Section 15, Township 45 South, Range 21 East.

ALSO:

A tract or parcel of land lying in Sections 22, 26 and 27, Township 45 South, Range 21 East, Lee County, Florida, more particularly described as follows:

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From the corner common to Sections 22, 23, 26 and 27, of said township and range, run North $81^{\circ} 30' 10''$ West along the North line of said Section 27 for 230.95 feet to the point of beginning of the lands herein described. From said point of beginning run South $18^{\circ} 15' 20''$ West along the bulkhead line as approved by the Lee County Board of Commissioners on May 8, 1963 and approved by the Trustees of the Internal Improvement Fund on June 18, 1963 for 466.75 feet; thence run South $10^{\circ} 42' 40''$ East along said bulkhead line for 942.39 feet to a point on the East line of said Section 27, which point bears South $08^{\circ} 29' 50''$ West and is 1349.83 feet South of the Northeast corner of said Section 27; thence continue South $10^{\circ} 42' 40''$ East along said bulkhead line in said Section 26 for 938.72 feet to a point of curvature; thence run Southeasterly, Easterly, and Northeasterly along said bulkhead line along the arc of a curve to the left of radius 430 feet (chord bearing South $66^{\circ} 09' 00''$ East) for 832.11 feet to a point of tangency; thence run North $58^{\circ} 24' 50''$ East along said bulkhead line for 205.81 feet to a point of curvature; thence run Northeasterly Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 185 feet (chord bearing North $13^{\circ} 24' 50''$ East) for 290.60 feet to a point of compound curvature; thence run Northwesterly along said bulkhead line, along the arc of a curve to the left of radius 325 feet (chord bearing North $51^{\circ} 29' 50''$ West) for 225.88 feet to a point of reverse curvature; thence run Northwesterly, Northerly and Northeasterly along said bulkhead line along the arc of a curve to the right of radius 185 feet (chord bearing North $28^{\circ} 07' 10''$ West) for 279.54 feet to a point of reverse curvature; thence run Northeasterly, Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 225 feet (chord bearing North $01^{\circ} 56' 10''$ West) for 134.34 feet to a point of reverse curvature; thence run Northwesterly, Northerly, Northeasterly, Easterly and Southeasterly along said bulkhead line along the arc of a curve to the right of radius 227.37 feet (chord bearing North $57^{\circ} 27' 20''$ East) for 607.13 feet to a point of compound curvature; thence run Southeasterly, Southerly and Southwesterly along said bulkhead line along the arc of a curve to the right of radius 1485 feet (chord bearing South $21^{\circ} 34' 00''$ East) for 1269.01 feet; thence run South $02^{\circ} 54' 50''$ West along said bulkhead line for 695 feet to a point of curvature; thence run Southwesterly, Southerly and Southeasterly along said bulkhead line along the arc of a curve to the left of radius 135 feet (chord bearing South $22^{\circ} 05' 10''$ East) for 117.81 feet to a point of reverse curvature; thence run Southeasterly, Southerly and Southwesterly along said bulkhead line along the arc of a curve to the right of radius 80 feet (chord bearing South $00^{\circ} 24' 50''$ West) for 132.65 feet to a point of reverse curvature; thence run Southwesterly and Southerly along said bulkhead line along the arc of a curve to the left of radius 180 feet (chord bearing South $30^{\circ} 58' 30''$ West - chord distance 104.85 feet) for 106.39 feet to an intersection with an Easterly prolongation of the Northerly boundary of the lands conveyed by deed recorded in Deed Book 130 at page 21 of the Public Records of Lee County; thence run North $88^{\circ} 35' 50''$ West along said Northerly boundary for 502.64 feet; thence run South $2^{\circ} 37' 50''$ West along the Westerly boundary

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of the lands conveyed by said Deed Book 130 at page 21 for 450.40 feet; thence run South $83^{\circ} 13' 30''$ East along the Southerly boundary of the lands conveyed by said Deed Book 130 at page 21 for 41.54 feet to an intersection with the West right of way of a 30 foot easement for roadway purposes as recorded in Official Record Book 1216 at pages 1789 and 1790 of the Public Records of Lee County; thence run South $2^{\circ} 51' 50''$ West along said West right of way for 226.03 feet to an intersection with the Northerly right of way of a 30 foot public road dedicated by deed recorded in Deed Book 54 at page 540, Public Records of Lee County; thence run along said Northerly right of way for 808.13

- NOTE:
1. 450.40 shown on original as 250.40
 2. easement for roadway purposes as recorded in Official Record Book 1216 at pages 1789 and 1790 shown on original as public road dedicated by deed recorded in Deed Book 5 at page 70
 3. 808.13 shown on original as 608

feet to an intersection with the East boundary of G.W. Bryant's Addition to Gulf View Captiva Island as recorded in Plat Book 3 at page 21, Public Records of Lee County; thence run North $12^{\circ} 48' 10''$ East along said East boundary for 8.41 feet to the Northerly right of way of Binder Avenue as recorded in said G. W. Bryant's Addition to Gulf View Captiva Island; thence run North $77^{\circ} 11' 50''$ West along said Northerly right of way of Binder Avenue for 358.28 feet to an intersection with the Easterly right of way of a 30 foot public road, also being the East boundary of Gulf View Subdivision as recorded in Plat Book 3 at page 8, Public Records of Lee County; thence run North $16^{\circ} 51' 30''$ West along said Easterly right of way of a 30 foot public road for 650 feet, more or less, to the waters of the Gulf of Mexico; thence run Northwesterly along said waters of the Gulf of Mexico for 4550 feet, more or less, to an intersection with the South line of the lands described in Deed Book 209 at pages 71 and 72; thence run North $89^{\circ} 27' 00''$ East along said South line for 680 feet, more or less, to an intersection with the aforementioned approved bulkhead line; thence run Southwesterly along said bulkhead line along the arc of a curve the right of radius 100.94 feet (chord bearing South $0^{\circ} 24' 50''$ West - chord distance 17.04 feet) for 17.06 feet to a point of tangency; thence run South $5^{\circ} 15' 20''$ West along said bulkhead line for 94.28 feet to a point of curvature; thence run Southeasterly along said bulkhead line along the arc of a curve to the left of radius 135.00 feet (chord bearing South $16^{\circ} 44' 40''$ East - chord distance 101.14 feet) for 103.67 feet to a point of tangency; thence run South $38^{\circ} 44' 40''$ East along said bulkhead line for 390.00 feet to a point of curvature; thence run Southeasterly along said bulkhead line along the arc of a curve to the right of radius 620.00 feet (chord bearing South $10^{\circ} 14' 40''$ East - chord distance 591.68 feet) for 638.44 feet to a point of tangency; thence run South $18^{\circ} 15' 20''$ West along said bulkhead line for 317.84 feet to the point of beginning.

ALSO:

A tract of submerged land lying offshore in Sections 22, 26 and 27, Township 45 South, Range 21 East, Lee County, Florida, more particularly described as follows:

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From the corner common to Sections 22, 23, 26 and 27, said Township and Range, run North 81° 30' 10" West along the North line of said Section 27 for 230.95 feet to the point of beginning of the lands herein described. From said point of beginning run South 18° 15' 20" West along the bulkhead line as approved by the Lee County Board of County Commissioners on May 8, 1963 and approved by the Trustees of the Internal Improvement Fund on June 18, 1963 for 466.75 feet; thence run South 10° 42' 40" East along said bulkhead line for 942.39 feet to a point on the East line of said Section 27, which point bears South 08° 29' 50" West and is 1,349.83 feet South of the Northeast corner of said Section 27; thence continue South 10° 42' 40" East along said bulkhead line in said Section 26 for 938.72 feet to a point of curvature; thence run Southeasterly, Easterly and Northeasterly along said bulkhead line along the arc of a curve to the left of radius 430 feet (chord bearing South 66° 09' 00" East) for 832.11 feet to a point of tangency; thence run North 58° 24' 50" East along said bulkhead line for 205.81 feet to a point of curvature; thence run Northeasterly, Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 185 feet (chord bearing North 13° 24' 50" East) for 290.60 feet to a point of compound curvature; thence run Northwesterly along said bulkhead line, along the arc of a curve to the left of radius 325 feet (chord bearing North 51° 29' 50" West) for 225.88 feet to a point of reverse curvature; thence run Northwesterly, Northerly and Northeasterly along said bulkhead line along the arc of a curve to the right of radius 185 feet (chord bearing North 28° 07' 10" West) for 279.54 feet to a point of reverse curvature; thence run North-easterly, Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 225 feet (chord bearing North 01° 56' 10" West) for 134.34 feet to a point of reverse curvature; thence run Northwesterly, Northerly, North-easterly, Easterly and Southeasterly along said bulkhead line along the arc of a curve to the right of radius 227.37 feet (chord bearing North 57° 27' 20" East) for 607.13 feet to a point of compound curvature; thence run Southeasterly, Southerly and Southwesterly along said bulkhead line along the arc of a curve to the right of radius 1,485 feet (chord bearing South 21° 34' 00" East) for 1,269.01 feet; thence run South 02° 54' 50" West along said bulkhead line for 695 feet to a point of curvature; thence run Southwesterly, Southerly and Southeasterly along said bulkhead line along the arc of a curve to the left of radius 135 feet (chord bearing South 22° 05' 10" East) for 117.81 feet to a point of reverse curvature; thence run Southeasterly, Southerly and Southwesterly along said bulkhead line along the arc of a curve to the right of radius 80 feet (chord bearing South 00° 24' 50" West) for 132.65 feet to a point of reverse curvature; thence run Southwesterly and Southerly along said bulkhead line along the arc of a curve to the left of radius 180 feet to the intersection with an Easterly prolongation of the Northerly boundary of the lands conveyed by deed recorded in Deed Book 130 at page 21, of the Public Records of Lee County; thence run Westerly along said Easterly prolongation to the point of mean high tide on the West shore of Pine Island Sound; thence run Northwesterly, Westerly, Southwesterly, Southerly, Southeasterly, Southerly, Southwesterly, Westerly, Northwesterly, Northeasterly and Northerly along said mean high tide line to an intersection with the North line of said Section 27; thence run South 81° 30' 10" East along said North line of Section 27 to the point of beginning.

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ALSO:

From said corner common to said Sections 22, 23, 26 and 27, run North 81° 30' 10" West along the South line of said Section 22 for 230.95 feet to the point of beginning of the herein described lands. From said point of beginning run North 18° 15' 20" East along said bulkhead line for 317.84 feet to a point of curvature; thence run Northeasterly, Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 620 feet (chord bearing North 10° 14' 40" West) for 638.44 feet to a point of tangency; thence run North 38° 44' 40" West along said bulkhead line for 390 feet to a point of curvature; thence run Northwesterly and Northerly along said bulkhead line along the arc of a curve to the right of radius 135 feet (chord bearing North 16° 44' 40" West) for 103.67 feet to a point of tangency; thence run North 05° 15' 20" East along said bulkhead line to an intersection with an Easterly prolongation of a Southerly boundary of the lands described in deed recorded in Deed Book 209 at pages 71 and 72 of said Public Records; thence run Westerly along said Westerly prolongation to the point of mean high tide line on the Westerly shore of an arm of Chadwick Bayou; thence run Southeasterly, Southerly and Southwesterly along said high tide line to an intersection with the South line of said Section 22; thence run South 81° 30' 10" East along said South line of Section 22 to the point of beginning.

PARCEL 4: Watts

A lot or parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows: From a concrete post on the South line of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of the Public Records of Lee County, which concrete post is 24 feet, more or less, Westerly from the Westerly shore of the waterway connecting Bryant Bayou with Pine Island Sound, run South 89° 27' West, along said South line and the line of the centerline of a ditch between rows of coconut palms, for 390.0 feet to a concrete post on the West side of a public road; thence continue South 89° 27' West along said South line for 2.4 feet; thence run North 4° 57' West along the Westerly side of said public road for 377.0 feet; thence run North 0° 27' West for 124.14 feet to a concrete monument and the point of beginning of the lands hereby conveyed. From said point of beginning run North 0° 27' West along the Westerly side of said public road (15 feet from the center line) for 100.00 feet to a concrete monument; thence run South 89° 27' West 600 feet North of and parallel to said South line of the lands conveyed by said deed recorded in Deed Book 209 at pages 71 and 72 for 355 feet, more or less, to the waters of the Gulf of Mexico, passing through a steel pin at 240 feet; thence run Southeasterly along said waters to an intersection with a line bearing South 89° 27' West through the point of beginning; thence run North 89° 27' East along said line for 325 feet, more or less, to the point of beginning; together with all riparian rights appurtenant thereto; being Parcel No. 6 as shown on unrecorded plat.

PARCEL 5: Holtz

A lot or parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel of land is described

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as follows: From a concrete post on the south line of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of the public records of Lee County, which concrete post is 24 feet more or less westerly from the westerly shore of the waterway connecting Bryant Bayou with Pine Island Sound, run South 89° 27' West along said south line and the line of the center line of a ditch between rows of coconut palms for 390.0 feet to a concrete post on the west side of a public road; thence continue south 89°27' west along said south line for 2.4 feet thence run north 4°57' west along the westerly side of said public road for 377.0 feet; thence north 0°27' west for 24.14 feet to a concrete monument and the p.o.b. of the land herein described. From said p.o.b. run north 0°27' west along the westerly side of said public road (15 feet from center line) 100.00 feet to a concrete monument; thence run south 89°27' west 500 feet north of and parallel to said south line of the lands conveyed by said deed recorded in Deed Book 209, at pages 71 and 72, for 325 feet, more or less, to the waters of the Gulf of Mexico, passing through a steel pin at 230 feet; thence run southeasterly along said waters to an intersection with the line through the p.o.b. bearing south 89°27' west; thence run north 89°27' east along said line for 310 feet more or less, to the p.o.b.;

PARCEL 6: Jay

A lot or parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the South line of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of the public records of Lee County, which concrete post is 24 feet, more or less, Westerly from the Westerly shore of the waterway connecting Bryant Bayou with Pine Island Sound, run South 89°27' West along said South line and the line of the center line of a ditch between rows of coconut palm for 390 feet to a concrete post on the West side of a public road; thence continue South 89° 27' West along said South line for 2.4 feet; thence run North 4° 57' West along the Westerly side of said public road for 300.9 feet to a concrete monument and the point of beginning of the lands herein described.

From said point of beginning run North 4° 57' West for 76.1 feet and North 0° 27' West for 24.14 feet along the Westerly side of said public road (15 feet from the center line) to a concrete monument; thence run South 89° 27' West, 400 feet North of and parallel to said South line of the lands conveyed by said deed recorded in Deed Book 209 at pages 71 and 72, for 310 feet, more or less, to the waters of the Gulf of Mexico, passing through a palm tree at 40 feet and a steel pin at 229.8 feet; thence run Southeasterly along said waters to an intersection with a line through the point of beginning bearing South 89° 27' West; thence run North 89° 27' East along said line for 305 feet, more or less, to the point of beginning.

ALSO:

A lot or parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the South line of the lands conveyed by deed recorded in Deed Book 209, at pages 71 and 72 of the public records of Lee County, which concrete post is 24 feet, more or less, Westerly from the Westerly shore of the waterway connecting Bryant Bayou with

October 23, 1973

Pine Island Sound, run South $89^{\circ} 27'$ West, along said South line and the line of the center line of a ditch between rows of coconut palms, for 390.0 feet to a concrete post on the West side of a public road; thence continue South $89^{\circ} 27'$ West along said South line for 2.4 feet; thence run North $4^{\circ} 57'$ West along the Westerly side of said public road for 200.6 feet to a concrete monument and the point of beginning of the lands hereby described.

From said point of beginning run North $4^{\circ} 57'$ West along the Westerly side of said public road (15 feet from the center line) for 100.2 feet to a concrete monument; thence run South $89^{\circ} 27'$ West 300 feet North of and parallel to said South line of the lands conveyed by said deed recorded in Deed Book 209 pages 71 and 72 for 305 feet, more or less, to the waters of the Gulf of Mexico, passing through a steel pin at 200 feet; thence run Southeasterly along said waters to an intersection with a line bearing South $89^{\circ} 27'$ West through the point of beginning; thence run North $89^{\circ} 27'$ East along said line for 297 feet to the point of beginning.

NOTE: coconut shown on original as cocoanut

ADD2002-00098
EXHIBIT "B"

A TRACT OF LAND LYING IN SECTION 22, TOWNSHIP 45 SOUTH, RANGE 21 EAST, CAPTIVA ISLAND, LEE COUNTY, FLORIDA WHICH TRACT IS DESCRIBED AS

BEGINNING AT THE SOUTHWESTERLYMOST CORNER OF THE MARINA AS DESCRIBED IN OFFICIAL RECORDS BOOK 1106 AT PAGE 1881;
THENCE RUN N09°15'52"W FOR 119.38 FEET;
THENCE RUN N06°15'44"W FOR 145.32 FEET;
THENCE RUN N54°13'14"E FOR 207.47 FEET;
THENCE RUN N77°48'24"E FOR 5.49 FEET;
THENCE RUN S77°35'33"E FOR 56.50 FEET TO A POINT OF CURVATURE;
THENCE RUN ALONG A CURVE TO THE LEFT WITH A RADIUS OF 154.76 FEET (CHORD BEARING S84°44'14"E) (CHORD 38.50 FEET) FOR 38.60 FEET TO A POINT OF TANGENCY;
THENCE RUN N88°07'04"E FOR 32.10 FEET TO A POINT OF CURVATURE;
THENCE RUN ALONG A CURVE TO THE LEFT WITH A RADIUS OF 135.00 FEET (CHORD BEARING N79°13'07"E) (CHORD 41.77 FEET) FOR 41.94 FEET TO A POINT OF REVERSE CURVATURE;
THENCE RUN ALONG A CURVE TO THE RIGHT OF RADIUS 30.00 FEET (CHORD BEARING S59°25'32"E) (CHORD 46.13 FEET) FOR 52.63 FEET TO A POINT OF NON-TANGENCY;
THENCE RUN N32°48'09"E FOR 277.42 FEET;
THENCE RUN N49°14'36"W FOR 169.28 FEET;
THENCE RUN S22°25'15"W FOR 231.04 FEET;
THENCE RUN N56°42'51"W FOR 325.76 FEET;
THENCE RUN N33°17'09"E FOR 98.67 FEET;
THENCE RUN N56°42'51"W FOR 72.50 FEET;
THENCE RUN N81°38'32"W FOR 116.25 FEET;
THENCE RUN S30°39'13"W FOR 8.18 FEET;
THENCE RUN S28°07'41"E FOR 165.27 FEET;
THENCE RUN S28°50'23"W FOR 346.97 FEET;
THENCE RUN S84°44'03"W FOR 127.34 FEET;
THENCE RUN S09°15'16"E AND ALONG THE WESTERLY LINE OF A 20-FOOT-WIDE ROADWAY EASEMENT FOR 625.62 FEET;
THENCE RUN N69°14'11"E ALONG A 30-FOOT-WIDE ROADWAY EASEMENT FOR 105.94 FEET TO A POINT OF CURVATURE;
THENCE ALONG A CURVE TO THE RIGHT OF RADIUS 110.87 FEET (CHORD BEARING N86°27'41"E) (CHORD 65.66 FEET) FOR 66.66 FEET TO A POINT OF REVERSE CURVATURE;
THENCE RUN ALONG A CURVE TO THE LEFT OF RADIUS 123.00 FEET (CHORD BEARING N63°41'11"E) (CHORD 158.13 FEET) FOR 171.74 FEET TO A POINT OF COMPOUND CURVATURE;
THENCE CONTINUING ALONG A CURVE TO THE LEFT OF RADIUS 349.28 FEET (CHORD BEARING N14°33'22"E) (CHORD 110.85 FEET) FOR 111.32 FEET TO A POINT OF TANGENCY;
THENCE RUN N05°25'32"E FOR 88.18 FEET;
THENCE RUN S77°44'35"W FOR 110.35 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 7.82 ACRES MORE OR LESS.
BEARINGS SHOWN ARE PLANE COORDINATE FOR THE WEST ZONE BASED ON TIES TO THE LEE COUNTY COASTAL CONSTRUCTION SETBACK LINE FOR CAPTIVA ISLAND, LEE COUNTY, FLORIDA.

ADD2002-00098

EXHIBIT "C"

A TRACT OF LAND LYING IN SECTION 26, TOWNSHIP 45 SOUTH, RANGE 21 EAST, CAPTIVA ISLAND, LEE COUNTY, FLORIDA WHICH TRACT IS DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF THE BAYSIDE VILLAS CONDOMINIUM, PHASE II, AS DESCRIBED IN OFFICIAL RECORD BOOK 1382 AT PAGE 1118;

THENCE RUN N35°54'10"E FOR 25.21 FEET TO THE POINT OF BEGINNING;
FROM SAID POINT OF BEGINNING RUN N46°38'16"W FOR 60.59 FEET TO A POINT OF CURVATURE;

THENCE RUN ALONG A CURVE TO THE LEFT OF RADIUS 451.15 FEET (CHORD BEARING N50°02'53"W) (CHORD 53.67 FEET) (DELTA 06°49'13") FOR 53.70 FEET TO A POINT OF REVERSE CURVATURE;

THENCE RUN ALONG A CURVE TO THE RIGHT OF RADIUS 367.50 FEET (CHORD BEARING N52°34'13"W) (CHORD 11.39 FEET) (DELTA 01°46'33") FOR 11.39 FEET;

THENCE RUN N35°54'10"E FOR 110.00 FEET;

THENCE RUN S78°27'27"E FOR 102.43 FEET;

THENCE RUN N05°30'41"W FOR 160.00 FEET;

THENCE RUN WEST FOR 75.00 FEET;

THENCE RUN N75°02'43"E FOR 250.00 FEET;

THENCE RUN S50°17'17"E FOR 36.46 FEET;

THENCE RUN S07°27'27"E FOR 197.24 FEET;

THENCE RUN N75°04'00"E FOR 226.85 FEET;

THENCE RUN S02°54'13"W FOR 70.59 FEET;

THENCE RUN S75°02'00"W FOR 306.09 FEET;

THENCE RUN S69°35'26"W FOR 40.18 FEET;

THENCE RUN S75°06'36"W FOR 57.43 FEET;

THENCE RUN S84°23'43"W FOR 53.52 FEET;

THENCE RUN N81°18'46"W FOR 5.92 FEET;

THENCE RUN N67°01'16"W FOR 16.02 FEET;

THENCE RUN N54°05'47"W FOR 121.83 FEET;

THENCE RUN S35°54'10"W FOR 135.81 FEET TO THE POINT OF BEGINNING.

CONTAINING 2.98 ACRES MORE OR LESS.

BEARINGS SHOWN ARE PLANE COORDINATE FOR THE WEST ZONE BASED ON TIES TO THE LEE COUNTY COASTAL CONSTRUCTION SETBACK LINE FOR CAPTIVA ISLAND, LEE COUNTY, FLORIDA.



January 12, 2001

DESCRIPTION

PARCELS 1 AND 2 AT SOUTH SEAS PLANTATION
SECTION 26, TOWNSHIP 45 SOUTH, RANGE 21 EAST
CAPTIVA ISLAND, LEE COUNTY, FLORIDA

A tract or parcel of land lying in Section 26, Township 45 South, Range 21 East, being a portion of South Seas Plantation, Captiva Island, Lee County, Florida, which tract or parcel is described as follows:

Parcel 1

From the southeast corner of Tennis Villas Condominium Phase II as recorded in Official Record Book 1237 at Page 1217 of the Public Records of Lee County, Florida run the following courses and distances along the boundary of South Seas Plantation: S 02° 47' 50" W for 204.16 feet; S 85° 47' 00" E for 71.60 feet; S 02° 55' 20" W for 235.67 feet to an intersection with the northerly right-of-way line of Captiva Drive Southwest (30 feet wide); N 71° 18' 21" W along said northerly right-of-way line of Captiva Drive Southwest and the boundary of said South Seas Plantation for 327.76 feet to an intersection with a non-tangent curve; thence run northwesterly along the arc of said curve departing the right-of-way line of said Captiva Drive Southwest and the boundary of South Seas Plantation to the right of radius 594.46 feet (chord bearing N 46° 04' 35" W) (chord 257.51 feet) (delta 25° 01' 05") for 259.57 feet to a non-tangent compound curve, also a point designated "A"; thence run northwesterly along the arc of said curve to the right of radius 718.62 feet (chord bearing N 07° 54' 51" W) (chord 191.19 feet) (delta 15° 17' 20") for 191.76 feet to the end of said curve and a non-tangent line; thence run N 01° 38' 15" E for 39.23 feet; thence run N 02° 36' 46" E for 211.33 feet; thence run N 01° 52' 34" E for 16.83 feet to the beginning of a non-tangent curve; thence run southeasterly along the arc of said curve to the right of radius 32.17 feet (chord bearing S 89° 44' 44" E) (chord 62.00 feet) (delta 210° 56' 38") for 118.42 feet to the end of said curve and a non-tangent line; thence run S 07° 18' 01" W for 21.69 feet; thence run S 02° 41' 01" W for 81.35 feet; thence run S 87° 21' 31" E for 87.16 feet; thence run S 02° 38' 30" W for 130.44 feet; thence run S 87° 21' 30" E for 63.03 feet to an intersection with the east line of said South Seas Plantation boundary, also being the west line of said Tennis Villas Condominium Phase II; thence run S 02° 38' 04" W along said boundary line for 48.41 feet to the southwest corner of said Tennis Villas Condominium Phase II; thence run S 88° 28' 34" E along the south line of said Tennis Villas Condominium Phase II and the boundary line of said South Seas Plantation for 264.39 feet to the Point of Beginning.

Parcel contains 204,282 square feet, more or less.

Parcel 2

From the point hereinabove designated "A" run S 65° 10' 37" W for 68.52 feet to the Point of Beginning of said Parcel 2.

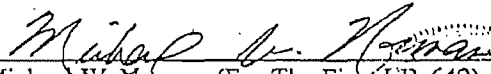
From said Point of Beginning run the following courses and distances along the perimeter of said Parcel 2: S 88° 11' 40" W for 64.43 feet; N 01° 04' 50" W for 26.90 feet; N 48° 20' 48" W for 18.32 feet; N 02° 58' 28" W for 43.74 feet; S 89° 55' 44" W for 15.80 feet; N 06° 16' 39" W for 95.89 feet; N 82° 28' 43" E for 79.92 feet; S 06° 18' 09" E for 111.04 feet; S 11° 02' 01" E for 21.20 feet; S 18° 47' 16" E for 25.19 feet; S 06° 26' 15" E for 31.66 feet to the Point of Beginning.

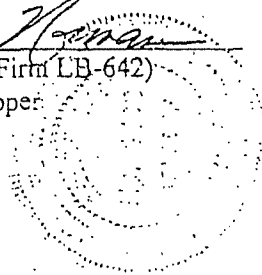
Parcel contains 13,518 square feet, more or less.

Total combined area for Parcels 1 and 2: 217,800 square feet (5.00 acres), more or less.

SUBJECT TO easements restrictions and reservations of record.

Bearings hereinabove mentioned are based on the north right-of-way line of Captiva Drive Southwest to bear N 71° 18' 21" W.


Michael W. Norman (For The Firm LB-642)
Professional Surveyor and Mapper
Florida Certificate No. 4500



20002191\Parcels 1&2-011201

SOUTH SEAS PLANTATION
BEACH VILLAS
CONDOMINIUM
OR 1269/119
OR 1302/1400

PARCEL 1 = 204,282 SQ. FT.
PARCEL 2 = 13,518 SQ. FT.
TOTAL 217,800 SQ. FT. OR 5.00 AC.±

TENNIS VILLAS
CONDOMINIUM
PHASE II
OR 1237/1217

POB PARCEL 1
SE CORNER TENNIS VILLAS PHASE II
(OR 1237/1217)

PARCEL 1

PARCEL 2

POINT "A"

CAPTIVA DRIVE SW (30' WIDE) (DB 54/340) (FORMERLY BRIDGE AVENUE)

THIS IS NOT A SURVEY

Michael W. Norman
MICHAEL W. NORMAN (FOR THE FIRM LB-652)
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 4562
JAN 19 2001
DATE SIGNED:
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED
SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

SKETCH TO ACCOMPANY DESCRIPTION
PARCELS 1 & 2
AT SOUTH SEAS PLANTATION
SECTION 26, TWP. 45 S., RGE. 21 E.
CAPTIVA ISLAND, LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.

ENGINEERS, SURVEYORS AND ECODYNAMICS

DATE	PROJECT NO.	SHEET NO.	SCALE	INCHES
01-10-2001	20002191	26-45-21	1" = 100'	1 OF 1

MEMORANDUM

FROM

THE OFFICE OF THE

COUNTY ATTORNEY

LAND USE

DATE: 11 Jun 1992

TO: Rick Joyce
Environmental Sciences

FROM:

Donna Marie Collins
Donna Marie Collins
Assistant County Attorney

RE: Mariner Properties, Inc.
South Seas Plantation
LU--1074

On April 23, 1992, Raymond Pavelka and Bob Offi of Mariner Properties, Inc. (Mariner), and County staff members discussed the permitting and development history of South Seas Plantation. I have examined the South Seas Plantation Master Plan as it relates to the Harbour Pointe site. My research has confirmed that the South Seas Plantation Master Plan was subject to an F-0015 review. The project subsequently received a Development Standards Ordinance (DSO) Exemption in 1985. The approval dates suggest that the Master Plan for South Seas Plantation is not subject to the Lee County Mangrove, Wetland, or Tree Protection Ordinances. Section Seven of each Ordinance specifically provides that projects granted Final Development Orders prior to the enactment of those Ordinances would be exempt from those Ordinances to the extent the particular Ordinance conflicts with approvals given in the Development Order application.

Mariner received Master Plan approval for the South Seas Plantation project sometime in 1973. The Plan has been updated several times since then. When Mariner updated their Master Plan on May 16, 1985, the Plan specifically referenced a "service road" which would provide emergency access to the Harbour Pointe location. The project received a DSO Exemption on June 27, 1985. (E-16-39-85) The basis for the Exemption was Mariner's F-0015 site plan approval within six months of December 21, 1984. At the time Mariner received the DSO Exemption there was no time limitation on the duration of such exemptions. The Plan was once again updated in February, 1987. Those documents also refer to a "service road" designed to provide access for emergency vehicles to the Harbour Pointe site. Insofar as the service road to Harbour Pointe was originally planned for the purposes of providing emergency access to the site, it is the opinion of this Office that Mariner's efforts to construct or improve the road consistent with this purpose should be exempt from the local permitting requirements of the Wetland Protection Ordinance, the Mangrove Ordinance, and the Tree Protection Ordinance.

Rick Joyce
June 11, 1992
Page 2 of 2

At this time, the minimum width necessary to provide adequate access for emergency vehicles is approximately 20 feet. See the Lee County Development Standards Ordinance, as amended. Therefore, Mariner may construct the service road to these dimensions without seeking permits from Lee County pursuant to the Mangrove, Tree or Wetlands Protection Ordinance. It is my understanding, however, that Mariner will remain subject to the Florida Department of Environmental Regulation and United States Army Corps of Engineers permitting requirements.

For similar reasons, Mariner is exempt from any potential violation for failing to obtain permits for the removal of Mangroves along the Point itself. Had Mariner constructed Harbour Pointe prior to 1986, as was their right to do so, the Point would require reinforcement in order to protect the proposed development. Mariner's placement of the revetment at this time is entirely consistent with the original approval and is therefore exempt from the permitting requirements of the Mangrove, Wetland Protection and the Tree Protection Ordinance.

For the foregoing reasons, the Official Notification of Code Violation issued on March 4, 1992 may be withdrawn. Although there is evidence that Mariner proposed that the service road would be 15 feet in width, the road has been repeatedly referred to as an "emergency access" road. Therefore the road should satisfy minimum standards to provide such access without the need to apply for additional permits from Lee County.

Should you have any questions regarding the foregoing, please do not hesitate to contact me. I am available to meet at your earliest convenience.

DMC/cpb

cc: Tim Jones, Assistant County Attorney
Greg Hagen, Assistant County Attorney
Mary Gibbs, Director, Community Development
Paul Bangs, Director, Development Review
Dave Ceilley, Environmental Sciences
Raymond Pavelka, Mariner Properties, Inc., 12800 University
Drive, Suite 350, Fort Myers, Florida 33907-5343

(3919M)

EXISTING DWELLING UNITS

* 1) BAYSIDE VILLAS	102
* 2) TENNIS VILLAS	60
* 3) EMPLOYEE HOUSING	140
* 4) BEACH VILLAS	160
* 5) BEACH COTTAGES	26
* 6) BEACH HOMES	33
* 7) BEACH HOMESITES	26**
* 8) SANDRIFT (AKA PLANTATION BEACH VILLAS)	4
* 9) PLANTATION BEACH CLUB	48 - SEE NOTE: B)
* 10) PLANTATION BAY VILLAS	4
* 11) MARINA VILLAS	40
* 12) HARBOURSIDE VILLAS	107
* 13) THE SOUTH SEAS CLUB	24
* 14) COTTAGES AT SOUTH SEAS PLANTATION	14
* 15) PLANTATION HOUSE PHASE I	12
* 16) SEABREEZE (AKA PLANTATION HOUSE PHASE II)	8
* 17) LAND'S END VILLAGE (AKA GOLF VILLAS)	68
* 18) ESTATE LOT (NO. 21 - AMERICAN HOTEL SUBDIVISION)	1
TOTAL DEVELOPED TO DATE	877**

* INDICATES THOSE PROJECTS THAT WERE DEVELOPED PRIOR TO JUNE 1985.
 ** THE DEVELOPERS OF THE SOUTH SEAS RESORT HAVE ALLOCATED 26 UNITS TO THE BEACH HOMESITES AREA. ONLY 24 UNITS HAVE BEEN CONSTRUCTED TO DATE.

UNITS TO BE DEVELOPED

19) HARBOUR POINTE	18
20) HARBOURVIEW VILLAS	10
UNALLOCATED	7
UNITS TO BE DEVELOPED	35
TOTAL NUMBER OF DWELLING UNITS APPROVED BY THE MASTER PLAN	912

JUNE 1985 DEVELOPMENT ORDER EXEMPTION E-6-39-85

APPROVED COVER PAGE AND SHEETS 1 THRU 16 (INCLUSIVE) FOR F-0015 PLAN SET

OWNER/DEVELOPER

MERISTAR HOSPITALITY CORPORATION
 1000 POTOMAC STREET NW
 WASHINGTON, D.C. 20007
 and
 PLANTATION DEVELOPMENT LTD.
 c/o MARINER GROUP INC.
 13451 MCGREGOR BLVD. SUITE 27
 FORT MYERS, FLORIDA 33919

LEGEND

	DEVELOPMENT AREA (RESIDENTIAL UNITS AND RESORT FACILITIES) AS-BUILT/AS-APPROVED 1973-2002
	FIVE (5) ACRE COMMERCIAL PARCEL - SEE NOTE: E)
	UTILITIES AND MAINTENANCE
	PLANTATION PRESERVE
	APPROVED IN 1973 FOR MANGROVE BUFFER, GOLF VILLAS, AND GOLF COURSE
	PARCELS NOT INCLUDED IN 1973 ZONING APPLICATION LEGAL DESCRIPTION

7-25-02 **Note added; Master Dev. Title change.

J:\20012664\2002\2002SSP-MasterPlan-rev.dwg

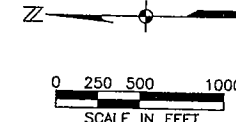
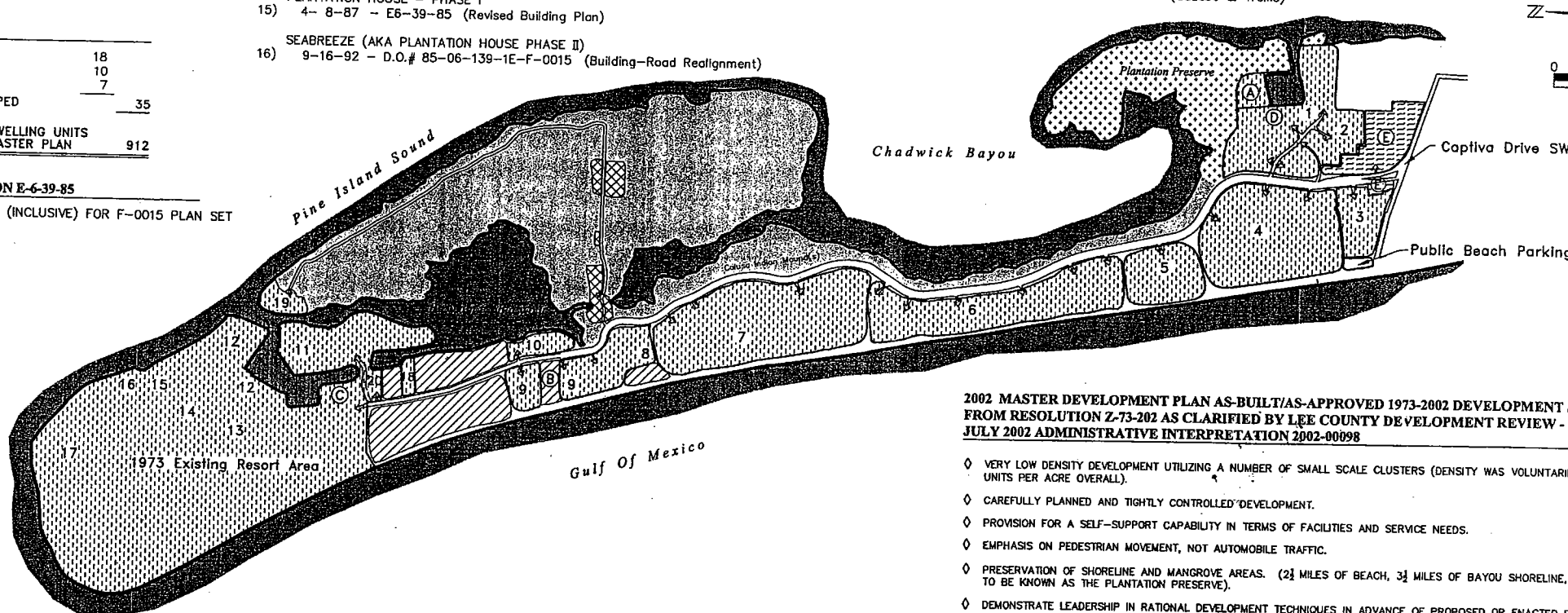
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 1985 Development Order Exemption - E6-39-85
 1985 Lee Plan Determination of Consistency (7/23/85)
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 2002 Master Development Plan

Site Plan and Site Plan Amendment Approvals Post June 1985 Development Order Exemption E6-39-85

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16) SEABREEZE (AKA PLANTATION HOUSE PHASE II)	9-16-92 - D.O.# 85-06-139-1E-F-0015 (Building-Road Realignment)

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AUG 9 2002
 APPROVED
 Master Concept Plan
 Site Plan - SSRMDP Page 1A of 1
 Subject to conditions in Resolution Z-73-202
 Case # ADD2002-00054

ADD 2002-00054

2002 MASTER DEVELOPMENT PLAN AS-BUILT/AS-APPROVED 1973-2002 DEVELOPMENT STANDARDS, INCLUDING THOSE FROM RESOLUTION Z-73-202 AS CLARIFIED BY LEE COUNTY DEVELOPMENT REVIEW - (DECEMBER 18, 2000) AND THE JULY 2002 ADMINISTRATIVE INTERPRETATION 2002-00098

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- ◇ DEMONSTRATE LEADERSHIP IN RATIONAL DEVELOPMENT TECHNIQUES IN ADVANCE OF PROPOSED OR ENACTED REGULATIONS.
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- ◇ THE REALLOCATION OF ANY OF THE CURRENTLY EXISTING DWELLING UNITS OR THE DEVELOPMENT OF THE UNALLOCATED DWELLING UNITS IS ALLOWED PROVIDED THE DEVELOPER HAS SUBMITTED A COMPLETE APPLICATION FOR ADMINISTRATIVE ACTION, INCLUDING SUPPLEMENT H; DESCRIBING AND DOCUMENTING THE PROPOSED REALLOCATION OF APPROVED DWELLING UNITS AND DEMONSTRATING ACCORDING TO LOC SECTION 34-103B THAT THE CHANGE IS MINOR.
- ◇ DEVELOPMENT AND REDEVELOPMENT OF RESORT SERVICE FACILITIES AND GUEST FACILITIES INCLUDING UTILITIES AND OTHER INFRASTRUCTURE IS ALLOWED, PROVIDING SOUTH SEAS RESORT THE OPPORTUNITY TO MODERNIZE AND MAINTAIN A COMPETITIVE POSITION IN THE RESORT MARKETPLACE.
- ◇ OTHER THAN AS DISCUSSED IN THE LETTER FROM THE LEE COUNTY ATTORNEY'S OFFICE DATED JUNE 11, 1992, NO WETLAND IMPACTS ARE AUTHORIZED BY THE SSRMDP. PRIOR TO PROPOSING AMENDMENTS TO THE SSRMDP FOR DEVELOPMENT THAT MAY ENROACH ON WETLANDS - INCLUDING BUT NOT LIMITED TO ANY EXPANSION OF THE HARBOUR POINTE DEVELOPMENT AREA - THE DEVELOPERS WILL INITIATE AN ENVIRONMENTAL STUDY ADEQUATE TO EVALUATE THE FEASIBILITY OF SUCH DEVELOPMENT IN WETLANDS. (SEE NOTE F)

NOTES

- A) THIS AREA IS RESERVED FOR EXPANSION OF THE EXISTING BOAT BASIN. NO RESIDENTIAL UNITS MAY BE BUILT IN THIS AREA.
- B) THERE ARE A TOTAL OF 56 PLANTATION BEACH CLUB UNITS DEVELOPED. HOWEVER, PBC II, PHASE 1, AN 8-UNIT BUILDING, WAS DEVELOPED ON A PARCEL OF LAND (ZONED RM-2) THAT WAS NOT A PART OF THE 1973 REZONING APPLICATION (Z-73-202).
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- E) REFERENCE LEGAL DESCRIPTION PREPARED BY JOHNSON ENGINEERING, INC. TO IDENTIFY BOUNDARIES OF THE 5-ACRE COMMERCIAL PARCEL(S).
- F) REFERENCE LEE COUNTY ATTORNEY'S OFFICE LETTER DATED JUNE 11, 1992.

Captiva Island
 Lee County, Florida

JOHNSON
 ENGINEERING

3501 DEL PRADO BLVD.
 SUITE 110
 CAPE CORAL, FLORIDA 33904
 PHONE (941) 334-0046
 FAX (941) 541-1383
 E.B. #642 & L.B. #642

2002 MASTER DEVELOPMENT PLAN
 SOUTH SEAS RESORT

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
February 2002	20012664	22-45-21	SHOWN	1

JOHNSON ENGINEERING, INC.

FORT MYERS
NAPLES
PORT CHARLOTTE

ENGINEERS. SURVEYORS AND ECOLOGISTS

July 3, 1996

2158 JOHNSON STREET
TELEPHONE (941) 334-0046
TELECOPIER (941) 334-3661
POST OFFICE BOX 1550
FORT MYERS, FLORIDA
33902-1550

CARL E. JOHNSON
1911-1968

DESCRIPTION SOUTH SEAS PLANTATION ENTRANCE SITE IMPROVEMENT AREA SECTION 26, T. 45 S., R. 21 E. CAPTIVA ISLAND, LEE COUNTY, FLORIDA

A tract or parcel of land lying in Section 26, Township 45 South, Range 21 East, Captiva Island, Lee County, Florida which tract or parcel is described as follows:

Beginning at the Southwest corner of Tennis Villas Condominium as described in Official Record Book 1237 at Page 1217, Lee County Records run S 88° 28' 34" E for 115.00 feet along the South line of said Condominium; thence run S 02° 47' 50" W for 335.00 feet; thence run S 65° 30' 48" W for 56.93 feet to an intersection with the North line of Captiva Drive S.W. (30.00 feet wide) (formerly Binder Avenue) as recorded in Deed Book 54 at Page 540, said public records; thence run N 71° 18' 20" W for 59.94 feet along said North line; thence run Northwesterly along the Northeasterly line of South Seas Plantation Road, a roadway and utility easement recorded in Official Record Book 1846 at Page 0807, said public records the following courses: N 61° 24' 14" W for 61.47 feet; along the arc of a curve to the right of radius 200.00 feet (delta 22° 11' 28") (chord 76.98 feet) (chord bearing N 50° 18' 31" W) for 77.46 feet and N 39° 12' 46" W for 65.62 feet; thence run N 71° 18' 20" W for 99.53 feet; thence Northerly along the West line of said South Seas Plantation Road N 06° 35' 12" W for 490.50 feet; thence run EAST for 105.00 feet; thence run N 23° 58' 22" E for 141.75 feet; thence run EAST for 210.00 feet; thence run S 02° 38' 04" W for 100.00 feet to an intersection with a Northwesterly line of said Tennis Villas Condominium; thence run S 37° 38' 00" W for 65.00 feet along said Northwesterly line to a corner of said Condominium; thence run S 02° 38' 04" W for 285.00 feet along the West line of said Condominium to the Point of Beginning.

Containing 5.27 acres, more or less.

Bearings hereinabove mentioned are Plane Coordinate for the Florida West Zone and the North line of Captiva Drive S.W. bears N 71° 18' 20" W.

CHAIRMAN
ARCHIE T. GRANT, JR.


PRESIDENT
FORREST H. BANKS

JOSEPH W. EBNER
STEVEN K. MORRISON
ANDREW D. TILTON
JEFFREY C. COONER
CARL A. BARRACO
KENTON R. KEILING
W. DAVID KEY, JR.
W. BRITT POMEROY
DAN W. DICKEY
KEVIN M. WINTER
GARY R. BULL

ASSOCIATES
GEORGE J. KALAL
STEPHEN W. ADAMS
PATRICIA H. NEWTON
MARK G. WENTZEL

CONSULTANT
LESTER L. BULSON

WBP/kc
21057


W. Britt Pomeroy, Jr. (For The Firm)
Professional Land Surveyor
Florida Certificate No. 4448

Site Plan and Site Plan Amendment Approvals Post June 1985 Development Order Exemption E6-39-85

EXISTING DWELLING UNITS

* 1)	BAYSIDE VILLAS	102	
* 2)	TENNIS VILLAS	60	
* 3)	EMPLOYEE HOUSING	140	
* 4)	BEACH VILLAS	160	
* 5)	BEACH COTTAGES	26	
* 6)	BEACH HOMES	33	
* 7)	BEACH HOMESITES	26**	
8)	SANDRIFT (AKA PLANTATION BEACH VILLAS)	4	
* 9)	PLANTATION BEACH CLUB	48	- SEE N
10)	PLANTATION BAY VILLAS	4	
*11)	MARINA VILLAS	40	
12)	HARBOURSIDE VILLAS	107	
*13)	THE SOUTH SEAS CLUB	24	
*14)	COTTAGES AT SOUTH SEAS PLANTATION	14	
15)	PLANTATION HOUSE PHASE I	12	
16)	SEABREEZE (AKA PLANTATION HOUSE PHASE II)	8	
*17)	LAND'S END VILLAGE (AKA GOLF VILLAS)	68	
18)	ESTATE LOT (NO. 21 - AMERICAN HOTEL SUBDIVISION)	1	
TOTAL DEVELOPED TO DATE			877**

* INDICATES THOSE PROJECTS THAT WERE DEVELOPED PRIOR TO JUNE 1985.
 ** THE DEVELOPERS OF THE SOUTH SEAS RESORT HAVE ALLOCATED 26 UNITS TO THE BEACH HOMESITES AREA. ONLY 24 UNITS HAVE BEEN CONSTRUCTED TO DATE.

UNITS TO BE DEVELOPED

19) HARBOUR POINTE	18	
UNALLOCATED	<u>17</u>	
UNITS TO BE DEVELOPED		<u>35</u>
TOTAL NUMBER OF DWELLING UNITS APPROVED BY THE MASTER PLAN		912

JUNE 1985 DEVELOPMENT ORDER EXEMPTION E-6-39-85

APPROVED COVER PAGE AND SHEETS 1 THRU 16 (INCLUSIVE) FOR F-0015 PLAN SET

OWNER/DEVELOPER

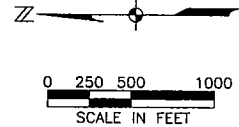
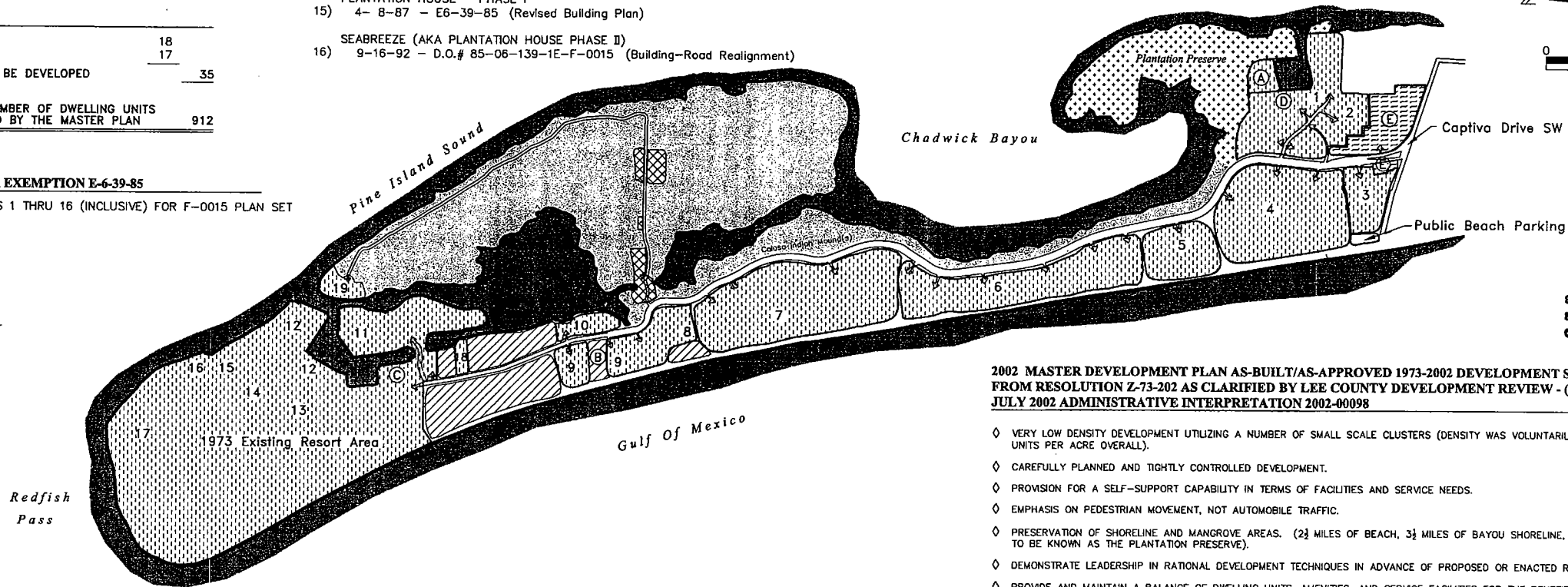
MERISTAR HOSPITALITY CORPORATION
 1000 POTOMAC STREET NW
 WASHINGTON, D.C. 20007
 and
 PLANTATION DEVELOPMENT LTD.
 c/o MARINER GROUP INC.
 13451 MCGREGOR BLVD. SUITE 27
 FORT MYERS, FLORIDA 33919

LEGEND

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JUL 30 2002
 APPROVED
 Master Concept Plan
 Site Plan - SSRMDP Page 1 of 1
 Subject to conditions in Resolution 2-73-202
 Case - ADD 2002-00096

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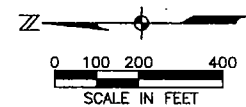
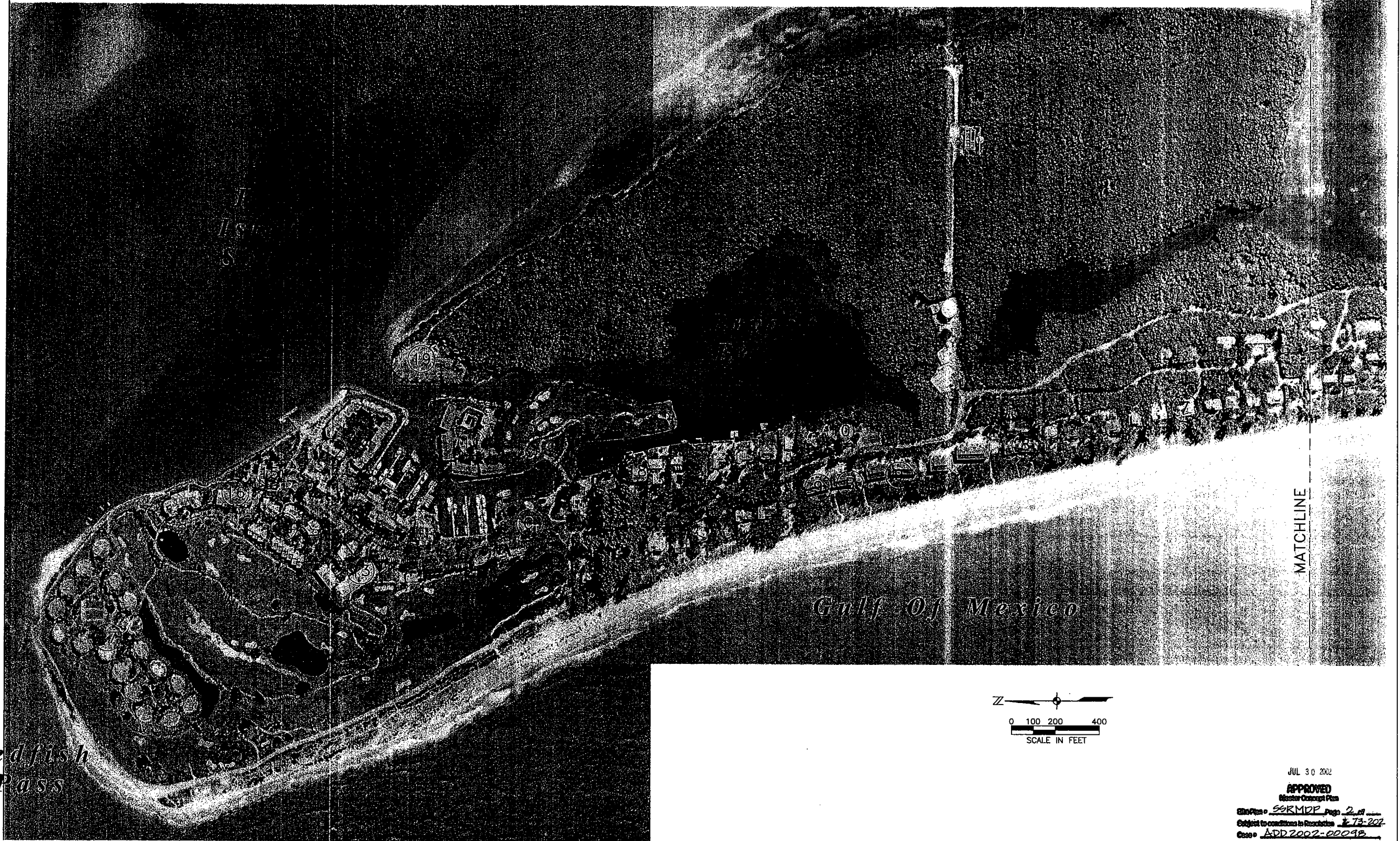
Captiva Island
 Lee County, Florida

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 CAPE CORAL, FLORIDA 33904
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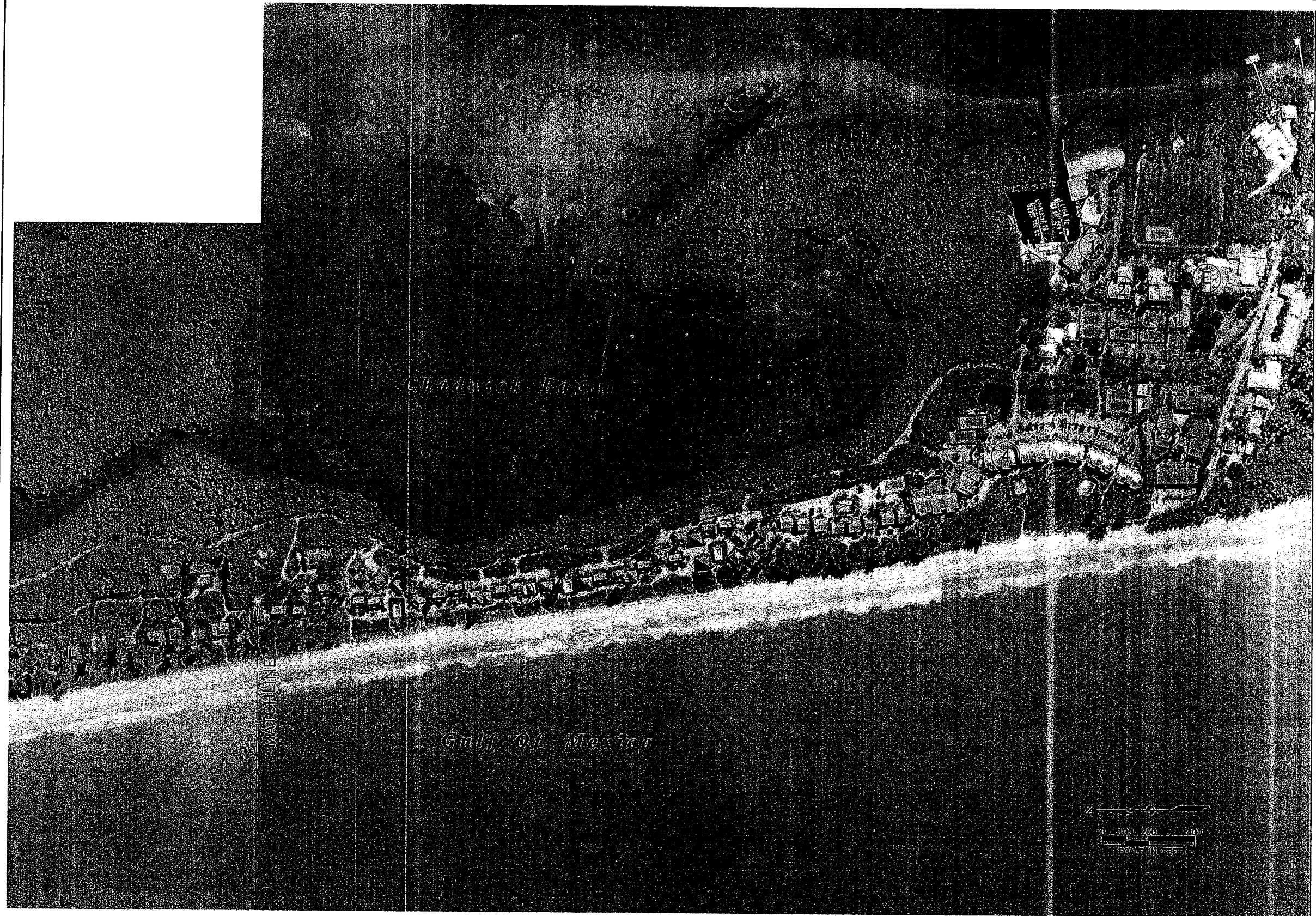
2002 MASTER DEVELOPMENT PLAN SOUTH SEAS RESORT

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
February 2002	20012664	22-45-21	SHOWN	1



JUL 30 2002
APPROVED
Master Concept Plan
Site Plan - SRMMP Page 2 of 2
Subject to conditions in Resolution # 73-202
Case # ADD 2002-00049

J:\20012664\Aerial200-1.0WG		REVISIONS		Mariner Properties Development Inc.	South Seas Plantation Lee County, Florida	JOHNSON ENGINEERING	3501 DEL PRADO BLVD. SUITE 110 CAPE CORAL, FLORIDA 33904 PHONE (941) 334-0046 FAX (941) 541-1383 E.B. #642 & L.B. #642	South Seas Plantation Planning Aerials			
5-19-02								DATE	PROJECT NO.	FILE NO.	SHEET
								April 2001	20012664		2
										SCALE	
										As Shown	



JUL 30 2002
APPROVED
Master Concept Plan
Site Plan - SSKMPP Page 3 of 3
Subject to conditions in Resolution 1-73-202
Case # ADD 2002-0009B

J:\20012664\Aerial200-2.DWG

REVISIONS		



South Seas Resort
Lee County, Florida

JOHNSON
ENGINEERING

3501 DEL PRADO BLVD.
SUITE 110
CAPE CORAL, FLORIDA 33904
PHONE (941) 334-0046
FAX (941) 541-1383
E.B. #642 & L.B. #642

South Seas Resort Aerials				
DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
April 2001	20012664		As Shown	3

PLAN

The following development standards are applicable to the SSRD, based on standards that have been applied since its inception in 1973.

- a. **Open space:** Of the 304± acres that make up the SSRD, approximately one third is set aside as open space, (this 100+ acres includes now privately owned uplands, wetlands, and submerged lands). Additionally there is an allocation of open space for those lands seaward of the coastal construction control line, currently in excess of 15 acres. The South Seas Golf Course and other recreational lands supplement the beach front and preservation land categories such that a minimum of 152 acres (approximately 50%) of the overall property is allocated to Open Space. Therefore, no minimum amount of Open Space is required for individual parcels.
- b. **Landscape:** Emphasis will be placed on the use of native species. Canopy trees for shading and trees and/or shrubs for the screening of service areas or for privacy will be used to the extent possible. The final plant selection and placement shall be at the discretion of the owner working in concert with County staff. The use of invasive exotics is prohibited.
- c. **Buffers:** There will be a natural (mostly mangrove) shoreline buffer along the bay waters of the SSRD. Specifically, that natural buffer shall be a minimum of 35' wide (except to the extent that the existing South Seas Road or Bay Drive (leading to Harbour Pointe) may currently encroach into and therefore reduce that 35' buffer). Where it is in or proximate to approved development areas, the natural buffer may be subject to a number of existing small openings as necessary for helicopter, vehicular, boat, pedestrian, and/or utility access, and trimming in accordance with State Standards for Mangrove Trimming where permitted. There is no buffer required along the bay waters extending from the southeasterly tip of the Harbour Pointe site continuing across the marina entrance channel and along the bay waters to Redfish Pass. There shall be no required minimum buffer between residential parcels internal to the development.
- d. **Setbacks:** Captiva Drive Southwest—minimum 25' to edge of right-of-way. South Seas Road—minimum 10' to edge of pavement, excluding security buildings, signs, walls and other entrance features, when consistent with LDC site visibility requirements. Internal driveways—no minimum setbacks required. Building to External Property Line: —minimum 10' with minimum 6' high wall and vegetation buffer. —minimum 15' with minimum 6' high wall or vegetation buffer. —minimum 20' without wall or vegetation buffer. Building to Internal Property Line—no minimum setback required. Building to Bay Waters: —minimum 25' setback from mean high tide line. Building to Waters of Gulf of Mexico: —minimum 50' from mean high tide line. Building to Natural or Manmade Lake, Pond, Bayou, Canal, or Marina: —no minimum setback required for buildings redeveloped within existing building footprints; 25' for any new buildings. Building to Building Separation: —minimum 10' separation unless additional separation is required by Building/Fire Code. Accessory Structures including Fences and Walls: —for walls or structures 8' or less in height above grade; no minimum setback required. —for walls or structures over 8' in height from grade, the setback shall be the same as set forth above for buildings, except as to water bodies where there will be no setbacks required. —there shall be no minimum required separation between walls and accessory structures or one accessory structure and another.
- e. **Building Heights:** (These standards are applicable to all new structures except those being replaced under the existing Lee County build-back provisions of the Land Development Code or LEE PLAN). Maximum height to the top of a parapet wall, roof, or midpoint of a pitched roof of no less than 4:1 and no more than 7:1 shall be the lesser of 35' above the grade surrounding the building at its foundation or 42' above mean sea level.
- f. **Traffic Impact Statements (TIS):** A traffic statement shall be required for any development that includes new residential dwelling units or includes more than 500 square feet of retail/commercial square footage. Because of the SSRD's vested status for purposes of concurrency (established via Determination of Consistency with the Lee Plan in 1985), the data provided to the County in such TIS are intended for information purposes only. Approval of TIS is not a prerequisite to approval of proposed development plans. The concurrency vesting is limited to the SSRD, as approved under this interpretation.
- g. **Parking:** These standards recognize the developers long standing commitments to transportation alternatives to the automobile on Captiva, including pedestrian and bicycle transportation via the pathways provided throughout the SSRD and the provision of up to 18 hours of daily free tram service.
- General:**
- Individual parking spaces will be no less than 9' wide by 18' deep.
 - The appropriate number of handicap spaces will be provided in convenient locations in compliance with Lee County and State of Florida Handicapped Codes and the intent of ADA Guidelines.
 - Any proposed reduction or reconfiguration of the as-built/as approved parking spaces provided contemporaneous to this interpretation, is subject to a limited review development order to assure that the current inventory of parking is not reduced and additional parking is provided in the proportions for resort use as required below.
- Residential:**
- Single family/duplex will have a minimum of 2 off-street parking spaces per unit.
 - Multi-family housing (whole ownership/timeshare/etc.) will have a minimum of 1 parking space per dwelling unit plus a minimum of 1 guest/service parking space for every 10 dwelling units.
 - Hotel/Motel units and employee rental apartments shall have a minimum of 1 parking space for every 2 dwelling units plus 1 guest/service parking space for every 10 dwelling units.
- Commercial:**
- Activities/Facilities internal to the resort and used almost exclusively by resort owners and guests (i.e. marina, golf course, tennis, retail, resort area restaurants, conference facilities, etc.) have no minimum required number of spaces.
 - Commercial Area at the south end of the property, except for conference facilities, shall be required to provide a minimum 1 parking space per 1000 square feet of retail, restaurant/lounge or commercial use (excluding kitchens and other "back of the house" areas and service facilities).
- h. **Construction Standards (other than for buildings):**
- Roads, driveways, walks, bike paths, seawalls, etc. shall be built in accordance with sound engineering design standards typical of those facilities constructed within the SSRD during the past 28 years, subject to review and approval by County staff through the limited review development order process.

i. **Stormwater Management:**

 - The standards of the existing approved SSRMDP as authorized and permitted by the South Florida Water Management District, or as they may be amended in the future, shall govern the surface water management elements of future development in the SSRD.

j. **Other:**

 - Except as noted herein, the applicable standards of the Lee County Land Development Code shall apply.

J:\20012664\2002\2002SSP-WP-5.dwg

REVISIONS

Captiva Island
Lee County, Florida

JOHNSON
ENGINEERING

3501 DEL PRADO BLVD.
SUITE 110
CAPE CORAL, FLORIDA 33904
PHONE (941) 334-0046
FAX (941) 541-1383
E.B. #642 & L.B. #642

2002 MASTER DEVELOPMENT PLAN
SOUTH SEAS RESORT

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
March 2002	20012664	22-45-21	SHOWN	4

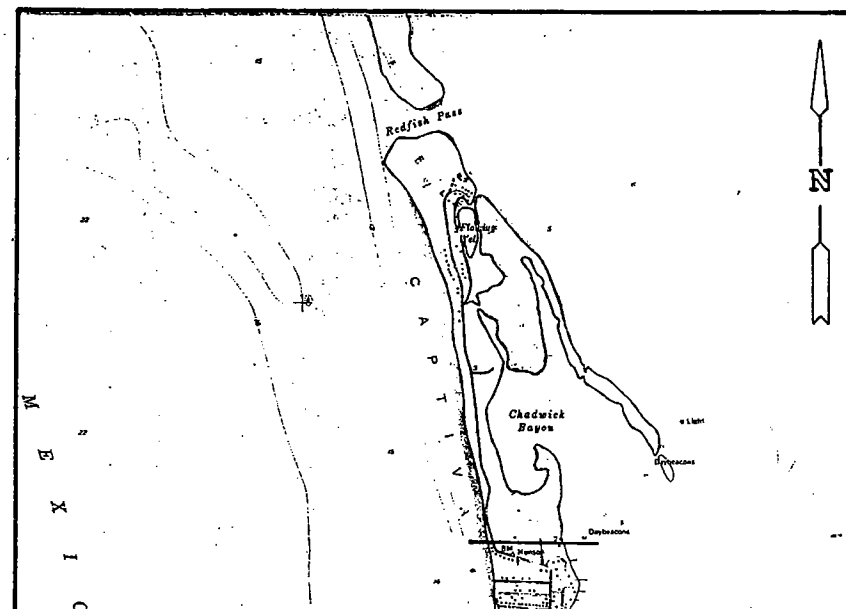
JUL 30 2002
APPROVED
Master Concept Plan
Site Plan • SSRMDP Page 4 of 4
Subject to conditions in Resolution 2-73-202
Case # ADD 2002-00048

CONSTRUCTION PLANS FOR SOUTH SEAS PLANTATION

SECTIONS 15, 22, & 26, TOWNSHIP 45 SOUTH, RANGE 21 EAST
CAPTIVA ISLAND, FLORIDA

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1. _____	MASTER PLAN
2. _____	PLANTATION HOUSE II
3-4. _____	HARBOURSIDE III
5. _____	HARBOUR POINTE IV
6. _____	HEALTH CLUB AND ESTATE RESIDENCE V
7. _____	PLANTATION BEACH VILLAS VI
	PLANTATION BAY VILLAS VII
8. _____	RESORT SERVICE FACILITIES VIII
9. _____	EMPLOYEE HOUSING / HUMAN RESOURCES IX
	EMPLOYEE HOUSING / PHASE FOUR X
10. _____	CHADWICK'S COMMERCIAL, RESTAURANT, AND MEETING ROOMS XI
11-16. _____	DETAILS



LOCATION MAP

DEPARTMENT	ACTION	REVIEW BLOCK	SIGNATURE	DATE	REMARKS
CURRENT PLANNING	App		B. Halland	7/19/85	EC-39-85
U.O.T.	App		Robert M. P.	7/19/85	
FIRE OFFICIAL	App		M.T. Goodman	8/14/85	PER REVISIONS and REVIEW checklists LETTER FROM ARCHITECT
BUILDING OFFICIAL					

*APPROVED; APPROVED AS MODIFIED; OR REJECTED

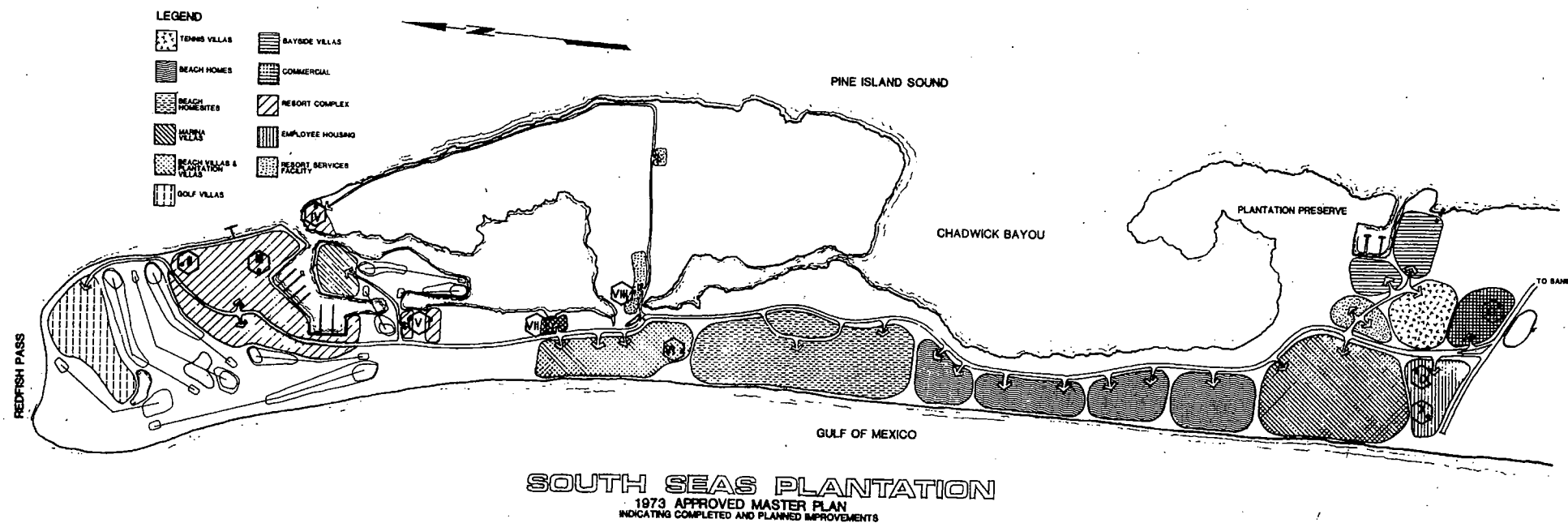
DRAWN BY DLT	CHECKED BY JWE
APPROVED BY <i>[Signature]</i>	
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 19359	

OWNER / DEVELOPER:
SOUTH SEAS PLANTATION CO.
13987 M^{SE} GREGOR BLVD. S.W.
FORT MYERS, FLORIDA, 33907
PHONE (813) 481-2011

CONTACT PERSON:
RAY PAVELKA
Site Plan: SSRMDP Page 2 of 2
Subject to conditions in Resolution 275-202
Case: ADD2002-00098

JOHNSON ENGINEERING, INC.	
CIVIL ENGINEERS LAND SURVEYORS	
2106 JOHNSON STREET, FORT MYERS, FLORIDA 33902-1800, (813) 834-0040	
DATE APRIL 1985	PROJECT NO. 198501
FILE NO. 19-48-21	SCALE AS SHOWN
COVER	

REVISED: JULY 16, 1985
REVISED: JULY 9, 1985
REVISED: JULY 8, 1985
REVISED: MAY 20, 1985
REVISED: JULY 5, 1985



JUL 30 2002
APPROVED
Master Concept Plan
Site Plan - SRMDP Page 6 of 12
Subject to conditions in Resolution 2-72-202
Case # ADD 2002-00016

MASTER PLAN
PREPARED BY
**ARCHITECTURAL
RESOURCES CORPORATION**
FOR
SOUTH SEAS PLANTATION CO.
13957 Mc GREGOR BLVD. S.W.
FT. MYERS, FLORIDA, 33907

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
POST OFFICE BOX 1050, FORT MYERS, FLORIDA, 33902-1050, PHONE (813) 334-0046

REVISED JULY 5, 1985
REVISED MAY 20, 1985

DATE APRIL 1988	PROJECT NO. 13888	FILE NO. 18-45-21	SCALE SHOWN	SHEET 1 OF 18
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GOLF COURSE AREA

MATCH EXISTING PAVEMENT

EXISTING INLET
TOP EL. = 4.2

PROPOSED PAVEMENT

EXISTING PAVEMENT TO BE REMOVED

CONSTRUCT INLET
TOP EL. = 4.2
INV. EL. = 1.9' (MATCH EXISTING PIPE)

EXISTING INLET
TOP EL. = 3.62
INV. EL. = -0.49
(RISE TOP TO +4.7 N.O.D.-CONST. SLOT TO MATCH SHALE GRADE)

EXISTING INLET
TOP EL. = 3.73
N. INV. = 1.8
S. INV. = 1.81
CONVERT TO MANHOLE
TOP EL. = 4.75

EXISTING SAN. MANHOLE
TOP EL. = 5.01
N. INV. EL. = -0.16 / S. INV. EL. = -0.29

EXISTING SAN. MANHOLE
TOP EL. = 4.37
N. INV. EL. = -0.3
S. INV. EL. = -0.58
S. INV. EL. = +0.04

PROPOSED BUILDING (2 STORIES OVER PARKING)

EXISTING "SOUTH SEAS" COTTAGES

EXISTING "SOUTH SEAS" COTTAGES

EXISTING BUILDING TO BE REMOVED

EXISTING POOL AND DECK

PINE ISLAND SOUND

CONNECT TO EXISTING 8" WATER MAIN

NOTE:
SANITARY SEWER
BE CONNECTED FROM EXISTING

UTILITY ANNOTATIONS:
FF EL. = 11.0 (MIN.)
FF EL. = 11.4 (MIN.)
1/4" METER
2" WATER SERVICE
8" PVC
2" G.V.
1" INLET TOP EL. = 6.68
N. INV. = 2.14
S.R. INV. = 2.18
EXISTING 10" PVC WATER MAIN
PROX. FIRE HYDRANT W/KEY
PROX. WALKWAY
EXISTING 8" G.V.

PROPOSED INLET
TOP EL. = 4.0
INV. EL. = MATCH EXISTING PIPE - 1.0'

(TO RETENTION LAKE AT GOLF COURSE)

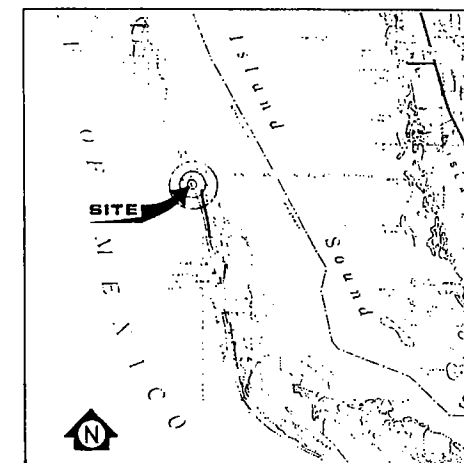
PLANTATION HOUSE II

A sketch map of the Pine Island Sound area. A curved line represents the coastline. To the left of the coastline, there is a small rectangular building with the text "BUILDING OVER" written below it. A road, represented by a line with cross-ticks, runs from the building towards the top left. The text "PINE ISLAND SOUND" is written along the coastline, following its curve.

➡ NOTE: PLAN RESULTS IN A
DECREASE OF 2000 S.F.
OF IMPERVIOUS AREA.
∴ NO ADDITIONAL RETENTION
REQUIRED IN LAKE

- - - - - PROPOSED GRADE
 ———— EXISTING GRADE
 EXISTING PAVEMENT
 [] EXISTING BUILDING
 [] PROPOSED PAVEMENT
 — N — PROPOSED CONTOUR AND GRADE ELEVATION
 — W — PROPOSED WATER SERVICE AND MAIN
 — EW — EXISTING WATER SERVICE
 — S — PROPOSED SANITARY SERVICE AND MAIN
 — ES — EXISTING SANITARY SERVICE
 [] EXISTING PAVEMENT TO BE REMOVED.
 [] PROPOSED STORM INLET AND PIPE
 — FM — PROPOSED FORCE MAIN
 • PROPOSED FIRE HYDRANT
 ○ PROPOSED GATE VALVE
 [] EXISTING INLET

OWNER/DEVELOPER:
SOUTH SEAS PLANTATION COMPANY
13987 MCGREGOR BLVD., S.W.
FT. MYERS, FLORIDA, 33907
813-481-2011



SCALE 1" = 2 MILES

LOCATION MAP

NOTE:
LOCATION OF ALL UTILITIES IS APPROXIMATE,
CONTRACTOR TO CONTACT OWNER AND UTILITY
COMPANIES PRIOR TO COMMENCING CONSTRUCTION
FOR MARKING EXISTING UTILITY LOCATIONS.

APPROVED JUL 30 2002


Site Plan - SSRMAP Page 7 of
 Subject to conditions in Resolution 2-73-20
 Case # ADD 2002-00098

UTILITIES

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

<div style="border: 1px solid black; padding: 5px; margin-bottom: 10px;"> DOT </div> <div style="border: 1px solid black; padding: 5px;"> APPROVED BY: _____ <i>[Signature]</i> </div>	<div style="border: 1px solid black; padding: 5px; margin-bottom: 10px;"> JWE </div>
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 1935	
	
REVISED: MAY 20, 19 REVISED: JULY 5, 198	

PAVING, GRADING, DRAINAGE AND UTILITY PLAN

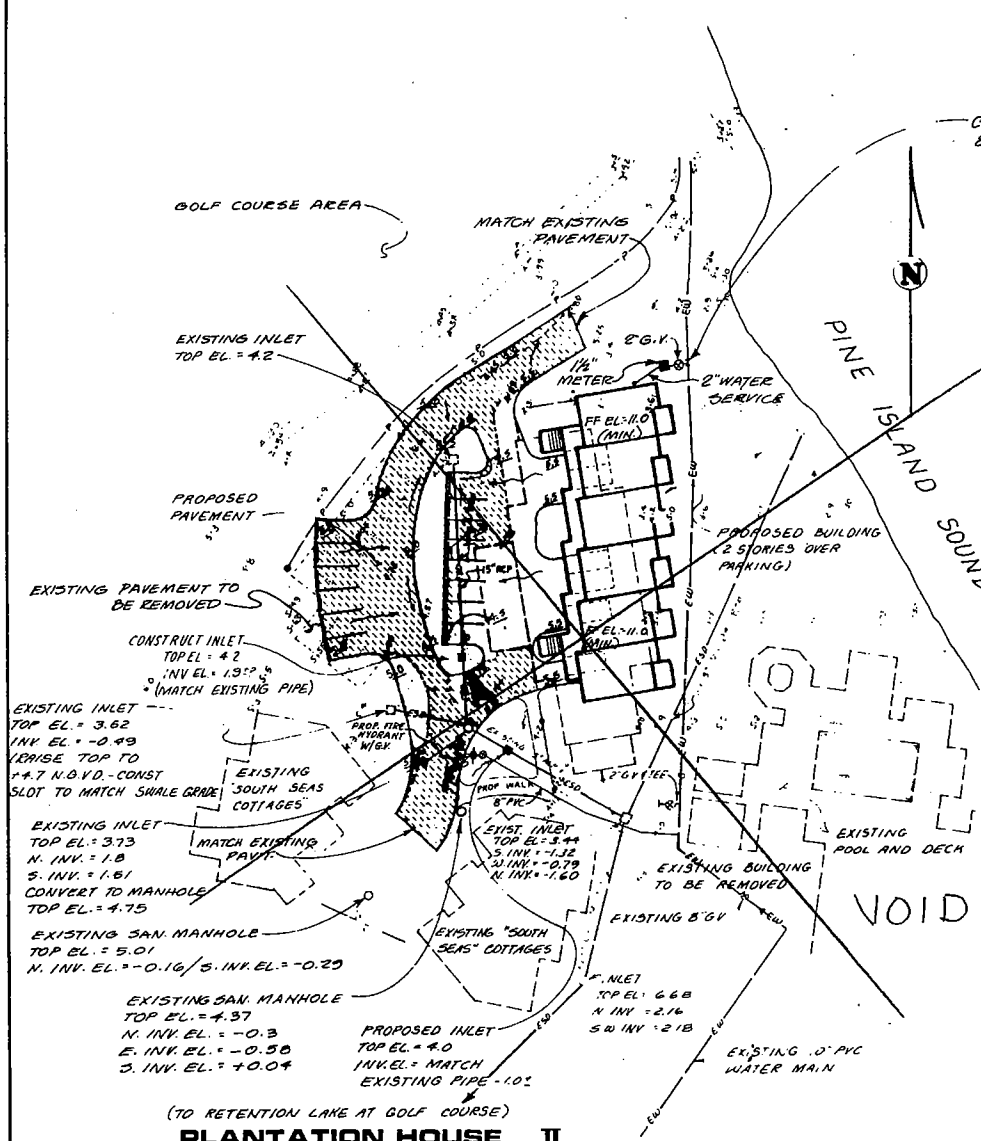
PLANTATION HOUSE - II
SEC. 18, T. 45 S., R. 21 E.

CAPTIVA ISLAND
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS

2158 JOHNSON STREET POST OFFICE BOX 1550 FORT MYERS, FLORIDA 33902-1550 (813) 734-0044

DATE APRIL 1985	PROJECT NO 13899 13900	FILE NO 15-45-21	SCALE 1" = 40'	SHEET 2 OF 1
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**PLANTATION HOUSE II**

NOTE: PLAN RESULTS IN A
DECREASE OF 2000 SF
OF IMPERVIOUS AREA.
∴ NO ADDITIONAL RETENTION
REQUIRED IN LAKE

UTILITIES

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

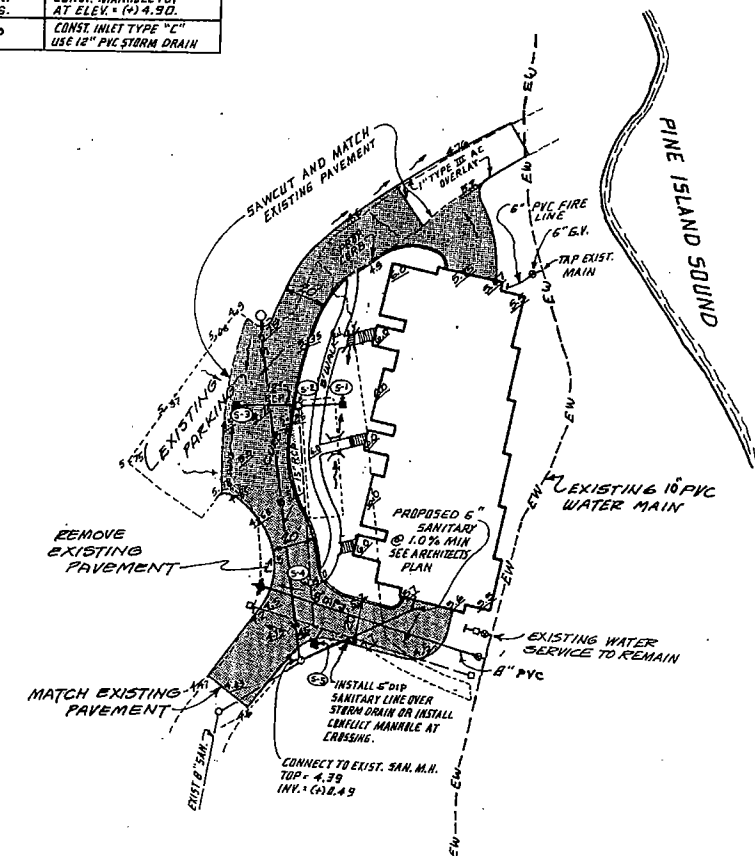
LEGEND

-
- 3.4
 3.4
 PROPOSED GRADE
 EXISTING PAVEMENT
 EXISTING BUILDING
 PROPOSED PAVEMENT
 PROPOSED CONTOUR AND GRADE ELEVATION
 W
 PROPOSED WATER SERVICE AND MAIN
 BW
 EXISTING WATER SERVICE
 S
 PROPOSED SANITARY SERVICE AND MAIN
 ES
 EXISTING SANITARY SERVICE
 EXISTING PAVEMENT TO BE REMOVED
 PROPOSED STORM INLET AND PIPE
 FM
 PROPOSED FORCE MAIN
 PROPOSED FIRE HYDRANT
 PROPOSED GATE VALVE
 EXISTING INLET

OWNER/DEVELOPER:

SOUTH SEAS PLANTATION COMPANY
13987 MCGREGOR BLVD., S.W.
FT. MYERS, FLORIDA, 33907
813-481-2011

STRUCTURE NO.	TOP ELEV.	INV. ELEV.	DESCRIPTION
S-1	5.0	2.1	CONST. INLET TYPE "C" USE 12" PVC STORM DRAIN
S-2	3.99	2.04	RAISE INLET TOP TO ELEV. 5.40
S-3	4.5	2.1	CONST. INLET TYPE "C" USE 12" PVC STORM DRAIN
S-4	3.76	1.90 N. 1.53 S.	CONST. MANHOLE TOP AT ELEV. (N) 4.90.
S-5	4.25	0.0	CONST. INLET TYPE "C" USE 12" PVC STORM DRAIN



LEGEND

- 5.37 EXIST. GRADE
5.35 PROP. GRADE
→ DIRECTION OF SURFACE FLOW
□ EXIST. INLET
■ PROP. INLET
○ PROP. CLEANOUT
✦ PROP. FIRE HYDRANT
▣ PROP. PAVEMENT.


NOTE:
LOCATION OF ALL UTILITIES IS APPROXIMATE,
CONTRACTOR TO CONTACT OWNER AND UTILITY
COMPANIES PRIOR TO COMMENCING CONSTRUCTION
FOR MARKING EXISTING UTILITY LOCATIONS.


APPROVED JUL 30 2002

Site Plan - SSRMDP Page 7A of
Subject to conditions in Resolution I-73-202
Case ADD 2002-00098

REVISED: MARCH 5, 1987

15-45-21, WILSON 3, 1987

DOT	JWE
	
APR 15 1985	

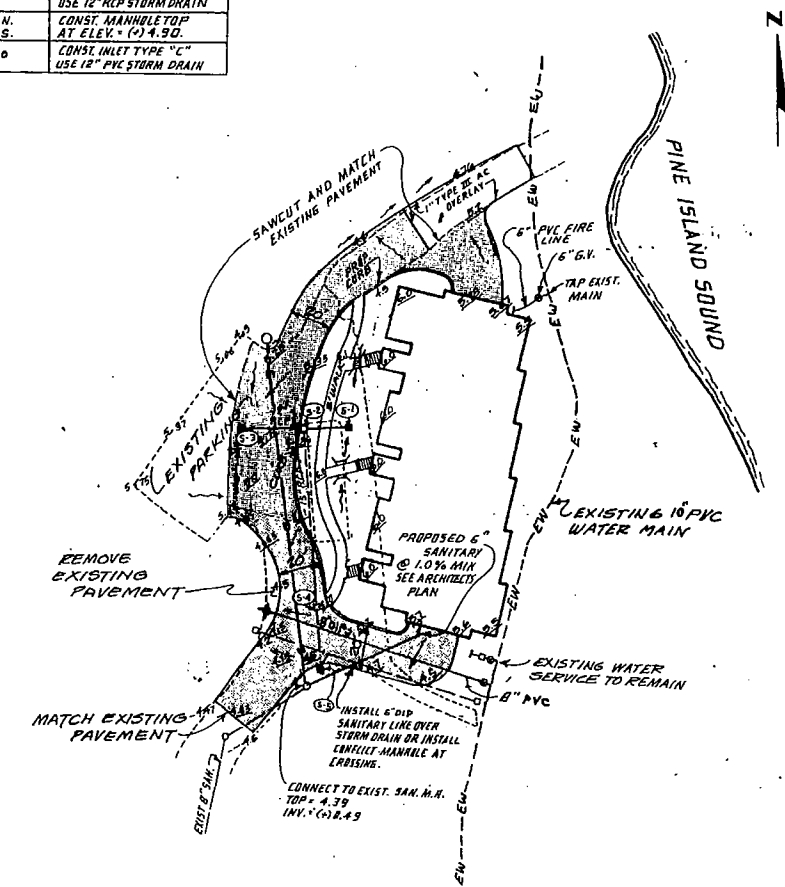
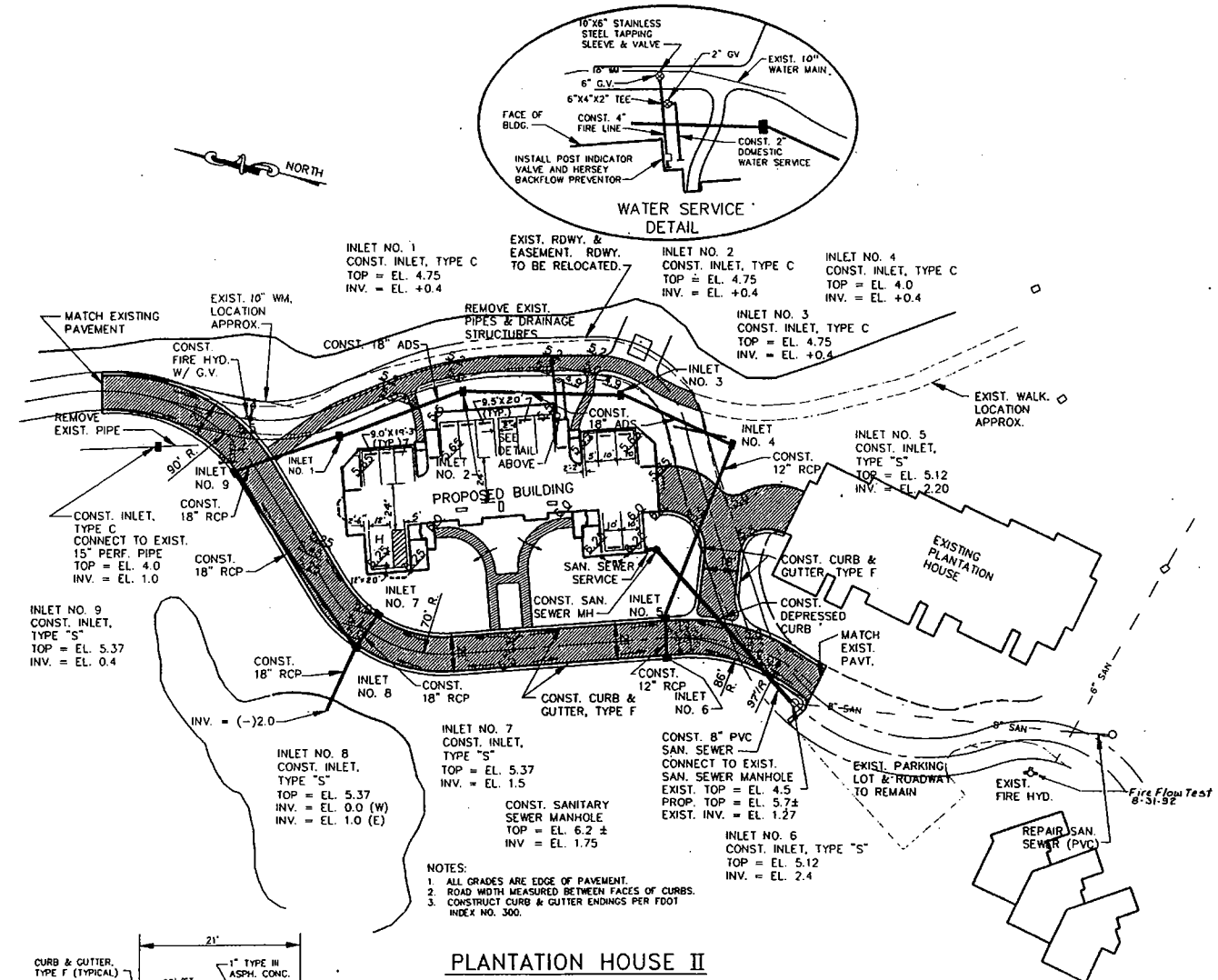


REVISED: MAY 20, 1985
REVISED: JULY 5, 1985

PAVING, GRADING, DRAINAGE AND UTILITY PLAN			
PLANTATION HOUSE - II			
SEC. 15, T. 45 S., R. 21 E.			
CAPTIVA ISLAND			
LEE COUNTY, FLORIDA			
JOHNSON ENGINEERING, INC.			
CIVIL ENGINEERS - LAND SURVEYORS			
2158 JOHNSON STREET POST OFFICE BOX 1550 FORT MYERS FLORIDA 33902 1550 (813) 334 0048			
DATE APRIL 1985	PROJECT NO. 13893 13900	FILE NO. 15-45-21	SCALE 1" = 40'
SHEET 2 OF 18			

15710

STRUCTURE NO.	TOPELEV.	INV. ELEV.	DESCRIPTION
S-1	5.0	2.1	CONST. INLET TYPE "C" USE 12" PVC STORM DRAIN
S-2	3.99	2.04	RAISE INLET TOP TO ELEV. 3.40
S-3	4.5	2.1	CONST. INLET TYPE "C" USE 12" RCP STORM DRAIN
S-4	3.76	1.90 N. 1.53 S.	CONST. MANHOLE TOP AT ELEV. (+) 4.90
S-5	4.25	0.0	CONST. INLET TYPE "C" USE 12" PVC STORM DRAIN



Dept. of Development Review
APPROVED
 By LMH Date Sept. 16, 1992
 For bldg. location;
 read & utilities realignment
 Exemption Type ADD R-2015
 Zoning RS-2 F.E.M.A. Zone A-1 cl. 11
 Approval based on site information
 supplied by applicant.

NOTE:
 LOCATION OF ALL UTILITIES IS APPROXIMATE,
 CONTRACTOR TO CONTACT OWNER AND UTILITY
 COMPANIES PRIOR TO COMMENCING CONSTRUCTION
 FOR MARKING EXISTING UTILITY LOCATIONS.

APPROVED JUL 30 2002
 Master Concept Plan
 Site Plan # 66RMDP Page 18 of 18
 Subject to conditions in Resolution 2-73-202
 Case # ADD 2002-00098
 REVISED: MARCH 5, 1987

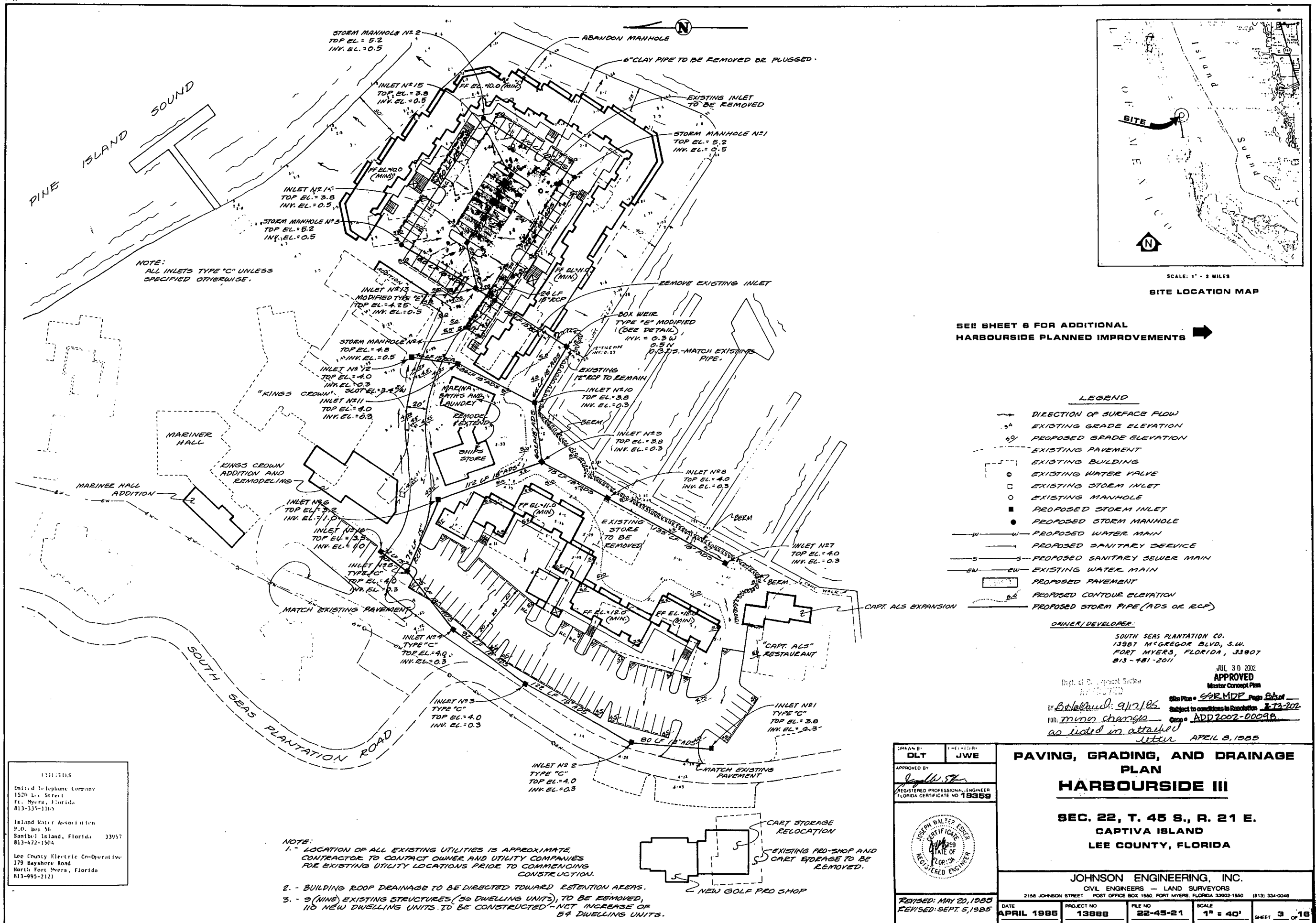
UTILITIES
 United Telephone Company
 1520 Lee Street
 Ft. Myers, Florida
 813-335-1165
 Island Water Association
 P.O. Box 56
 Sanibel Island, Florida 33957
 813-472-1504
 Lee County Electric Co-Operative
 179 Bayshore Road
 North Fort Myers, Florida
 813-995-2121

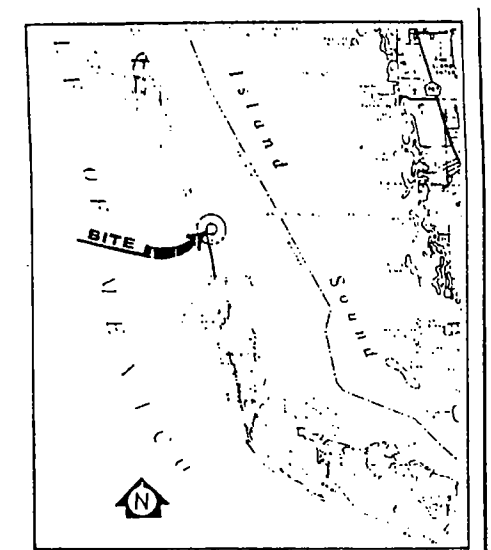
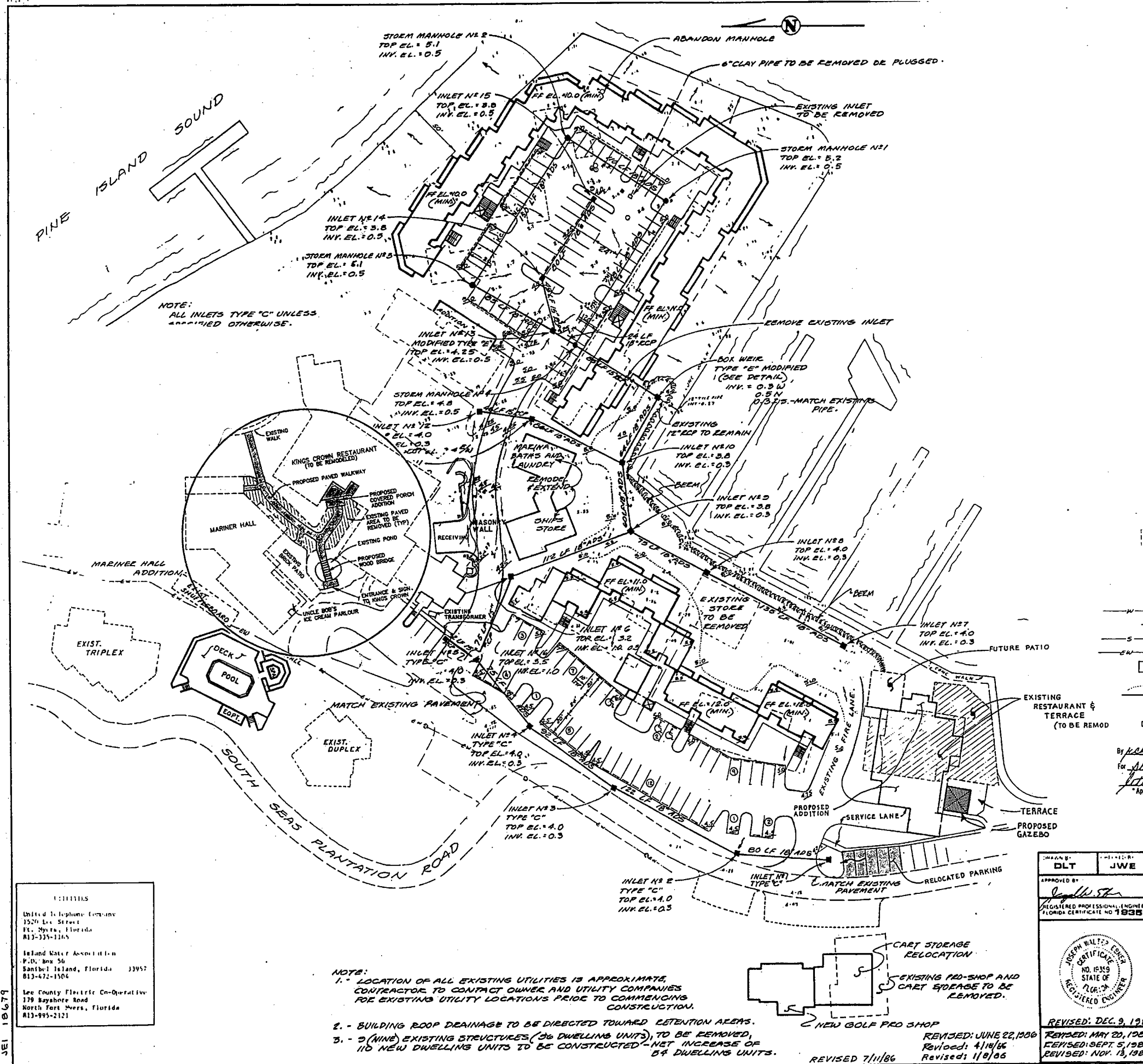
- LEGEND**
- EDGE OF EXISTING PAVEMENT
 - ▨ PROPOSED PAVEMENT
 - PROPOSED WATER SERVICE AND GATE VALVE
 - PROPOSED SANITARY SEWER MAIN AND MANHOLE
 - PROPOSED STORM INLET AND PIPE
 - + PROPOSED FIRE HYDRANT
 - EXISTING FIRE HYDRANT
 - PROPOSED GRADE
 - DIRECTION OF PROPOSED SURFACE FLOW

OWNER / DEVELOPER:
 SOUTH SEAS RESORT LIMITED PARTNERSHIP
 12800 UNIVERSITY DRIVE, SUITE 350
 FORT MYERS, FLORIDA 33907

DOT	JWE	PAVING, GRADING, DRAINAGE AND UTILITY PLAN	
11-87		PLANTATION HOUSE - II	
19359		1 SEC. 15, T. 45 S., R. 21 E.	
9-2-92		CAPTIVA ISLAND	
9-2-92		LEE COUNTY, FLORIDA	
JOHNSON ENGINEERING, INC.		CIVIL ENGINEERS - LAND SURVEYORS	
2158 JOHNSON STREET		POST OFFICE BOX 1550 FORT MYERS FLORIDA 33902 1550 (813) 334-0048	
REVISED: MAY 20, 1983	DATE	PROJECT NO.	FILE NO.
REVISED: JULY 5, 1985	APRIL 1985	13898	15-45-21
REVISED: AUG. 3, 1992	13898	12500	1" = 40'
REVISED: AUG. 26, 1992			SHEET 2 OF 18

Revised 8/2/92: Parking Spaces





SCALE: 1" = 1 MILE

SITE LOCATION MAP

JUL 30 2002

APPROVED
Master Concept Plan

Site Plan: **SSRMDP** Page **9C** of **10**

Subject to conditions in Resolution **173-2002**

Case: **AVD 2002-00046**

- LEGEND**
- DIRECTION OF SURFACE FLOW
 - EXISTING GRADE ELEVATION
 - PROPOSED GRADE ELEVATION
 - EXISTING PAVEMENT
 - EXISTING BUILDING
 - EXISTING WATER VALVE
 - EXISTING STORM INLET
 - EXISTING MANHOLE
 - PROPOSED STORM INLET
 - PROPOSED STORM MANHOLE
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY SERVICE
 - PROPOSED SANITARY SEWER MAIN
 - EXISTING WATER MAIN
 - PROPOSED PAVEMENT
 - PROPOSED CONTOUR ELEVATION
 - PROPOSED STORM PIPE (ADS OR RCP)
 - NUMBER OF 10' PARKING SPACES
- Dept. of Development Review
APPROVED
- By *[Signature]* Date *7-31-86*
- For *[Signature]* Date *7-31-86*
- Approval based on site information supplied by applicant.
- OWNER/DEVELOPER:**
SOUTH SEAS RESORT LIMITED PARTNERSHIP
c/o MARINER PROPERTIES, INC.
13391 MCGREGOR BLVD.
FORT MYERS, FL. 33919
- REVISED: 2/23/86 - PROPOSED WOOD BRIDGE AND WALKWAY TO KINGS CROWN BUILDING AND PROPOSED COVERED PORCH
REVISED: MARCH 25, 1988 (KINGS CROWN BUILDING ADDITION AND SERVICE AREA REMODELING)
Revised 7/3/87
Added: Proposed Pool
- REV APEIL 8, 1988

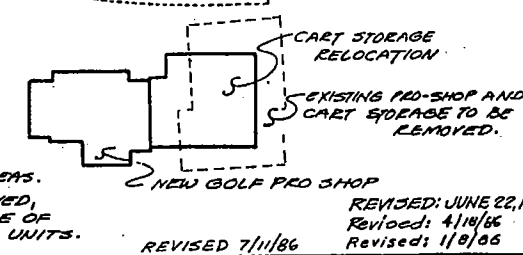
13111115

United Telephone Company
1520 Lee Street
Fort Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

- NOTE:**
1. - LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR TO CONTACT OWNER AND UTILITY COMPANIES FOR EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING CONSTRUCTION.
 2. - BUILDING ROOF DRAINAGE TO BE DIRECTED TOWARD RETENTION AREAS.
 3. - 2 (NINE) EXISTING STRUCTURES (36 DWELLING UNITS) TO BE REMOVED, 110 NEW DWELLING UNITS TO BE CONSTRUCTED - NET INCREASE OF 54 DWELLING UNITS.



DESIGNED BY: **DLT**

DRAWN BY: **JWE**

APPROVED BY: *[Signature]*

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 18388

JOSEPH HALL, P.E.
CERTIFICATE NO. 15319
STATE OF FLORIDA
REGISTERED ENGINEER

REVISED: DEC. 9, 1987

REVISED: MAY 20, 1985
REVISED: SEPT. 5, 1985
REVISED: NOV. 13, 1985

PAVING, GRADING, AND DRAINAGE PLAN

HARBOURSIDE III

SEC. 22, T. 45 S., R. 21 E.

CAPTIVA ISLAND

LEE COUNTY, FLORIDA

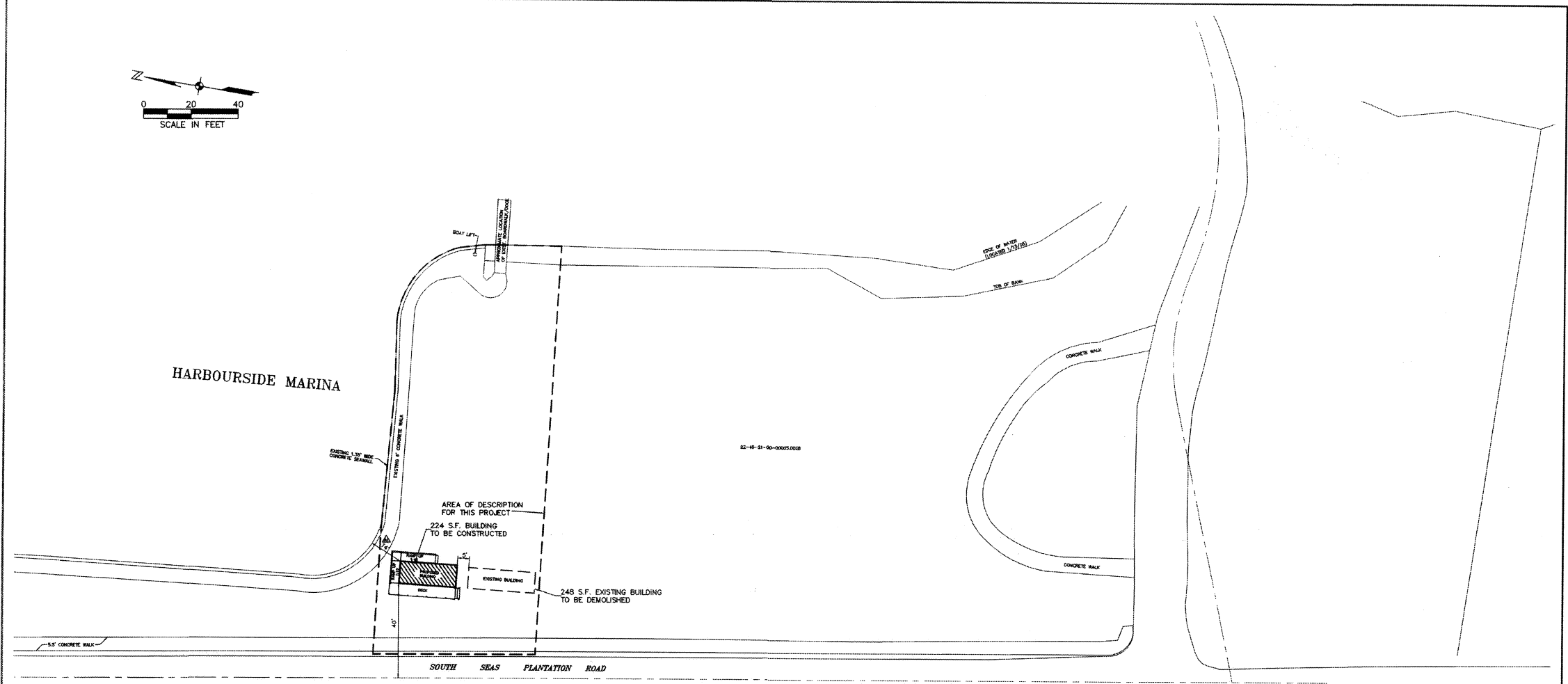
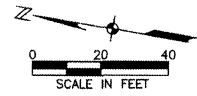
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JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS - LAND SURVEYORS

2154 JOHNSON STREET POST OFFICE BOX 1660, FORT MYERS, FLORIDA 33902-1660 (813) 334-0046

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
APRIL 1988	13888	EE-45-21	1" = 40'	3 OF 10



AMENDMENT REQUEST
A REQUEST RELIEF FROM ADMINISTRATIVE INTERPRETATION 2002-00098, SECTION 5.d (SETBACKS)(PG. 13 OF 16) FOR A 25' WATERBODY SETBACK TO ALLOW A 14' WATERBODY SETBACK.

IMPERVIOUS AREA	
EXISTING BUILDING	= 248 S.F.
PROPOSED BUILDING	= 224 S.F.
PROPOSED RAMP & DECK	= 280 S.F.
TOTAL PROPOSED	= 484 S.F.

MAY 16 2006
APPROVED
SSE/MDP/MS/RF
Subject to conditions in Resolution E-12-2003
Case # ADD 2006-00041
ADD 2006-00041

RECEIVED
FEB 23 2006
COMMUNITY DEVELOPMENT

ADD 2006-00041

H:\20066017\20066017BASE.dwg (AMENDMENT) dtd Feb 16, 2006 - 3:35pm			REVISIONS		MERISTAR HOSPITALITY CORP.	SOUTH SEAS RESORT Lee County, Florida	JOHNSON ENGINEERING	2158 JOHNSON STREET P.O. BOX 1550 FORT MYERS, FLORIDA 33902-1550 PHONE (239) 334-0046 FAX (239) 334-3661 E.B. #642 & L.B. #642	ADMINISTRATIVE ADMENDMENT CAPTIVA CRUISE BUILDING				
									DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
									February 15, 2006	20066017	22-45-21	As Shown	1

UTILITIES

United Telephone Company
1520 Lee Street
Fort Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative Inc.
179 Bayshore Road
North Fort Myers, Florida
813-993-2121

NOTE:
LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR TO CONTACT OWNER AND UTILITY COMPANIES PRIOR TO COMMENCING CONSTRUCTION FOR MAKING EXISTING UTILITY LOCATIONS.
REFER TO ARCHITECT'S PLAN FOR LOCATION OF FORCE MAIN AND WATER LINES THROUGH BUILDING.

LEGEND

- ES EXISTING SANITARY SEWER
- FM PROPOSED FORCE MAIN
- EXISTING PAVEMENT
- EXISTING BUILDING
- EXISTING WATER VALVE
- EXISTING STORM INLET
- EXISTING MANHOLE
- PROPOSED STORM INLET
- PROPOSED MANHOLE
- W PROPOSED WATER MAIN
- S PROPOSED SANITARY SERVICE
- SW PROPOSED SANITARY SEWER MAIN
- EW EXISTING WATER MAIN
- PROPOSED WATER SERVICE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT

OWNER/DEVELOPER:
SOUTH SEAS PLANTATION CO.
13887 MCGREGOR BLVD. S.W.
FORT MYERS, FLORIDA 33907
813-481-2011

APPROVED
Master Concept Plan
Site Plan - 508MDP Page 9 of 1
Subject to conditions in Resolution 175-202
Case # ADD 2002-00046

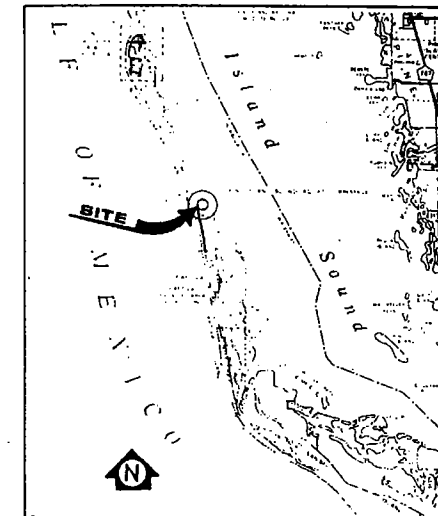
**UTILITY PLAN
HARBORSIDE III**

**SEC. 22, T. 45 S., R. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA**

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1550 FORT MYERS, FLORIDA 33902-1550 (813) 334-0048

REVISIONS:
REVISED: MAY 20, 1985
REVISED: JULY 5, 1985
REVISED: JULY 8, 1985

DATE APRIL 1988 **PROJECT NO.** 13888 **FILE NO.** 22-45-21 **SCALE** 1" = 40' **SHEET** 4 of 1



SCALE: 1" - 2 MILES

SITE LOCATION MAP

SCALE: 1" - 2 MILES

SITE LOCATION MAP

NOTE: FIRE DEPARTMENT ACCESS 15' MIN. WIDTH. TO BE PAVEMENT OR STABILIZED BASE WITH A MINIMUM CBR VALUE OF 40. LOCATION AND WIDTH TO VARY TO MATCH VEGETATION AND GRADE DIFFERENCES.

LEGEND

-
- ES EXISTING SANITARY SEWER
 FM FM PROPOSED FORCE MAIN
 EXISTING PAVEMENT
 EXISTING BUILDING
 EXISTING WATER VALVE
 EXISTING STORM INLET
 EXISTING MANHOLE
 PROPOSED STORM INLET
 PROPOSED MANHOLE
 W W PROPOSED WATER MAIN
 PROPOSED SANITARY SERVICE
 S S PROPOSED SANITARY SEWER MAIN
 EW EW EXISTING WATER MAIN
 PROPOSED WATER SERVICE
 EXISTING FIRE HYDRANT
 PROPOSED FIRE HYDRANT
 VISION

OWNER/DEVELOPER:

SOUTH SEAS PLANTATION CO.
13987 MCGREGOR BLVD. S.W.
FORT MYERS, FLORIDA 33807
813-481-2011

APPROVED
Master Outcrop Plan

Site Plan # SSR MDP Page 9 of
Subject to conditions in Resolution 8-75-202
App # APP 2002-00098

U'111.1711.5

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

NOTE: LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR TO CONTACT OWNER AND UTILITY COMPANIES PRIOR TO COMMENCING CONSTRUCTION FOR MARKING EXISTING UTILITY LOCATIONS.


REFER TO ARCHITECT'S PLAN FOR LOCATION OF FORCE MAIN AND WATER LINES THROUGH BUILDING.

DRAWN BY
DLT

CHECKED BY
JWE

APPROVED BY
Joseph W. Elder

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO 1932



RENEWED: MAY 20, 1981
REVISED: JULY 5, 1981
REVISED: JULY 8, 1981

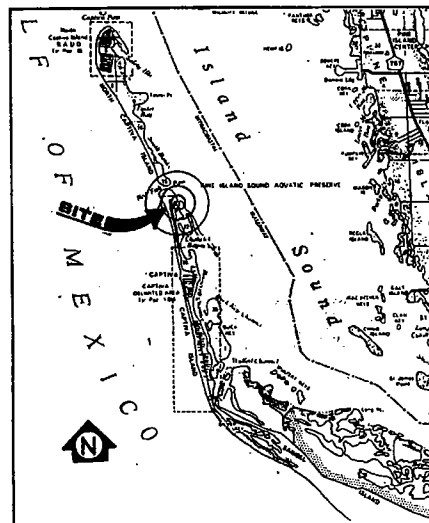
UTILITY PLAN
HARBOURSIDE III

SEC. 22, T. 45 S., R. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS — LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1550 FORT MYERS, FLORIDA 33902-1550 (813) 334-0048

DATE APRIL 1988	PROJECT NO 13888	FILE NO 22-45-21	SCALE 1" = 40'	SHEET 4 OF 1
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[illegible]

SCALE 1" = 2 MILES
SITE LOCATION MAP

LEGEND

- PROPOSED CONTOUR AND GRADE ELEVATION
-
- EXISTING BUILDING OUTLINE
- EXISTING GRADE
- PROPOSED GRADE
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING WATER MAIN
- EXISTING WATER SERVICE AND MAIN
- EXISTING SANITARY PIPE
- PROPOSED SANITARY SERVICE AND MAIN
- PROPOSED MANHOLE
- PROPOSED FORCE MAIN
- PROPOSED GRINDER STATION
- PROPOSED GATE VALVE
- PROPOSED BEEM
- PROPOSED INLET

JUL 30 2002
APPROVED
Master Concept Plan
Site Plan = SSRMDP Page 10 of
Subject to conditions in Resolution 2-73-202
Case = ADD 2002-00018

UTILITIES

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

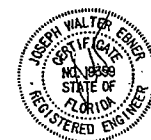
Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

OWNER/DEVELOPER:

SOUTH SEAS PLANTATION COMPANY
13987 MCGREGOR BLVD. S.W.
FORT MYERS, FLORIDA 33907
813-481-2011

NOTE: SPRINKLER SYSTEM TO BE
INSTALLED IN BUILDINGS (13D)
FOR 4" WATER MAIN. IF WATER
MAIN IS 8" OR LARGER, SPRINKLERS
NOT REQUIRED IN BUILDINGS.

DRAWN BY GOT	CHECKED BY JWE
APPROVED BY <i>[Signature]</i>	
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 19389	



REVISED: MAY 20, 1985
REVISED: JULY 8, 1985

PAVING, GRADING, DRAINAGE, & UTILITY PLAN

HARBOUR POINTE - IV

SEC. 22, T. 45 S., R. 21 E.

**CAPTIVA ISLAND
LEE COUNTY, FLORIDA**

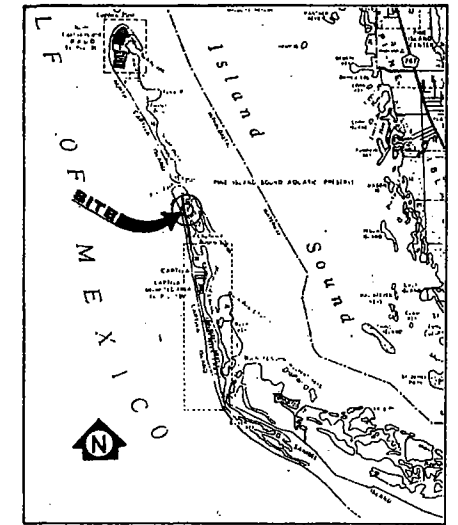
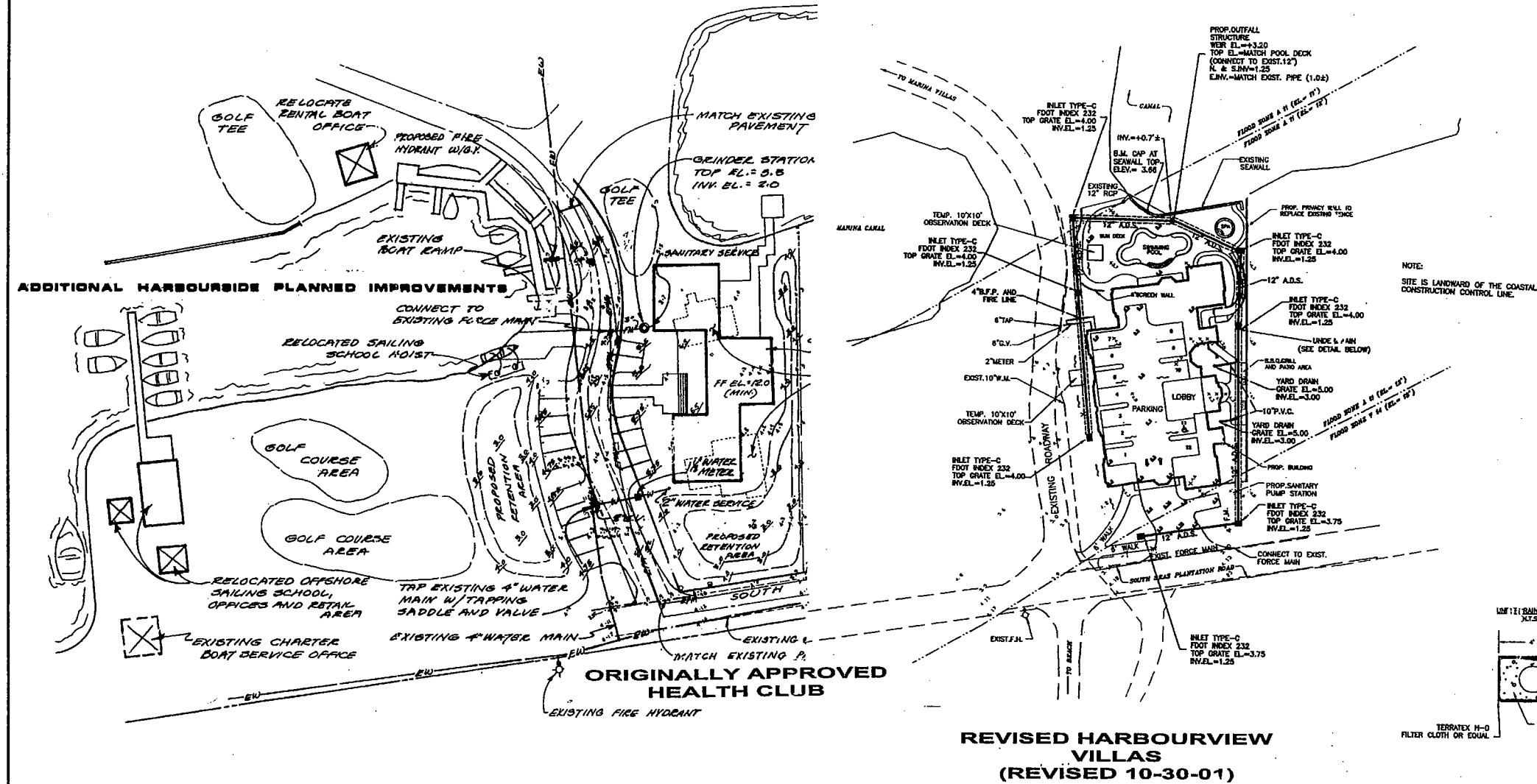
JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS — LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0046

DATE APRIL 1985	PROJECT NO. 13801	FILE NO. 22-45-21	SCALE 1" = 40'	SHEET 5 OF 16
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HEALTH CLUB #13902

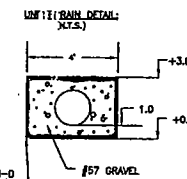
JEI 20012664 - 10-30-01



SCALE 1" = 2 MILES
SITE LOCATION MAP

AUG 9 2002
APPROVED
Master Concept Plan
Site Plan - SSRMDP Page 11A of 11
Subject to conditions in Resolution 2-73-202
Case - ADD2002-00054

- GATE VALVE
- DRAINAGE INLET
- OUTFALL STRUCTURE
- SURFACE FLOW DIRECTION
- EXISTING ELEVATION
- PROPOSED ELEVATION
- B.B.O. GRILL SYMBOL
- HANDICAP PARKING




RECEIVED
APR 30 2002
APPROVED
Amendment to
Master Concept Plan
Subject to Case # ADD2002-00054
Date 3/1/02

ADD 2002-00054

UTILITY PROVIDERS:
SPRINT UNITED
P.O. BOX 370 MC 1514
FORT MYERS, FL 33902
ISLAND WATER ASSOCIATION
3651 SANIBEL-CAPTIVA ROAD
SANIBEL, FL 33957
LEE COUNTY ELECTRIC CO-OPERATIVE
179 BAYSHORE ROAD
NORTH FORT MYERS, FL
CAPTIVA FIRE DISTRICT
CAPTIVA DRIVE
FORT MYERS, FL 33902
AQUASOURCE UTILITY CORP. (WASTEWATER)
827C COLLEGE PARKWAY
SUITE 108
FORT MYERS, FLORIDA 33919

OWNER: PLANTATION DEVELOPMENT LIMITED
ADDRESS:
C/O MARINER GROUP, INC.
13451 MCGREGOR BLVD.
SUITE 27
FORT MYERS, FLORIDA 33919
EXISTING SITE IS A SHELL PARKING LOT
TOTAL SITE AREA = 0.58 AC
PROPOSED IMPERVIOUS AREA = 0.48 AC

Revised: 4-29-02
Owner and Address revised

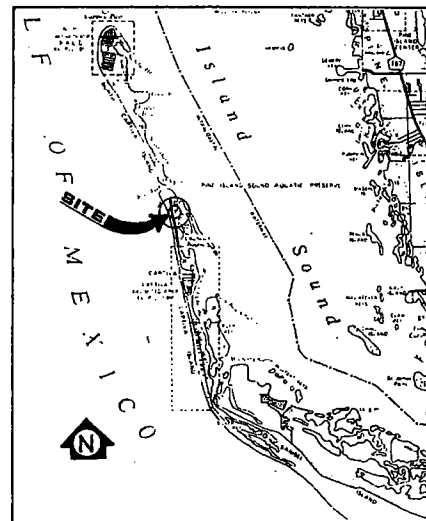
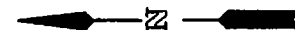
DRAWN BY DLT	CHECKED BY JWE
APPROVED BY <i>[Signature]</i>	
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 13359	
	
REVISED: 10/30/01	
REVISED: MAY 20, 1985 REVISED: JULY 5, 1985 REVISED: JULY 8, 1985	

PAVING, GRADING, DRAINAGE
AND UTILITY PLAN
HARBOURVIEW VILLAS
SEC. 22, T. 45 S., R. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

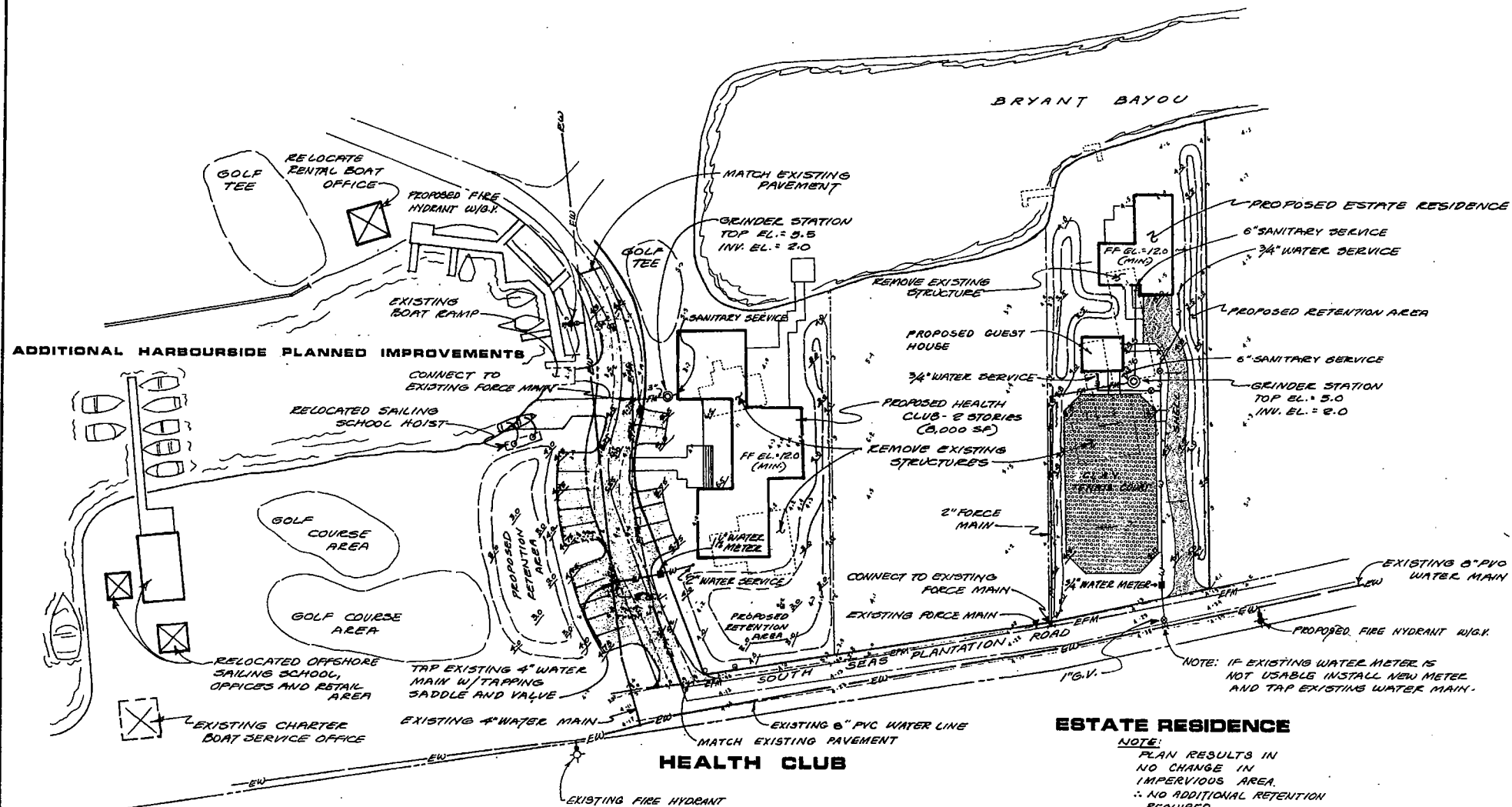
JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS - LAND SURVEYORS
2158 JOHNSON STREET, POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0045

DATE APRIL 1985	PROJECT NO. 13802	FILE NO. 22-45-21	SCALE 1" = 40'	SHEET 8 OF 16
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SCALE 1" = 2 MILES
SITE LOCATION MAP



- LEGEND**
- A — EXISTING GRADE
 - BW — EXISTING WATER MAIN
 - G — EXISTING GATE VALVE
 - — EXISTING EDGE OF PAVEMENT
 - — EXISTING BUILDING OUTLINE
 - SY — PROPOSED GRADE
 - — DIRECTION OF SURFACE FLOW
 - W — PROPOSED WATER SERVICE
 - S — PROPOSED SANITARY SERVICE
 - G — PROPOSED GATE VALVE
 - M — EXISTING WATER METER
 - M — PROPOSED WATER METER
 - FM — PROPOSED FORCE MAIN
 - — PROPOSED CONTOUR AND GRADE ELEVATION
 - G — PROPOSED GRINDER STATION
 - — EXISTING FORCE MAIN
 - — PROPOSED SHELL PAVEMENT
 - — PROPOSED CLAY PAVEMENT

NOTE: LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR TO CONTACT OWNER AND UTILITY COMPANIES FOR EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING CONSTRUCTION.

ESTATE RESIDENCE

NOTE:
PLAN RESULTS IN
NO CHANGE IN
IMPERVIOUS AREA.
NO ADDITIONAL RETENTION
REQUIRED.

UTILITIES

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

OWNER/DEVELOPER:

SOUTH SEAS PLANTATION COMPANY
13987 MCGREGOR BLVD. S.W.
FORT MYERS, FLORIDA 33907
813-481-2011

DRAWN BY
DLT

CHECKED BY
JWE

APPROVED BY
[Signature]

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19359

[Professional Seal]

REVISED: MAY 20, 1985
REVISED: JULY 5, 1985
REVISED: JULY 8, 1985

**PAVING, GRADING, DRAINAGE
AND UTILITY PLAN**

HEALTH CLUB & ESTATE RESIDENCE V

SEC. 22, T. 45 S., R. 21 E.

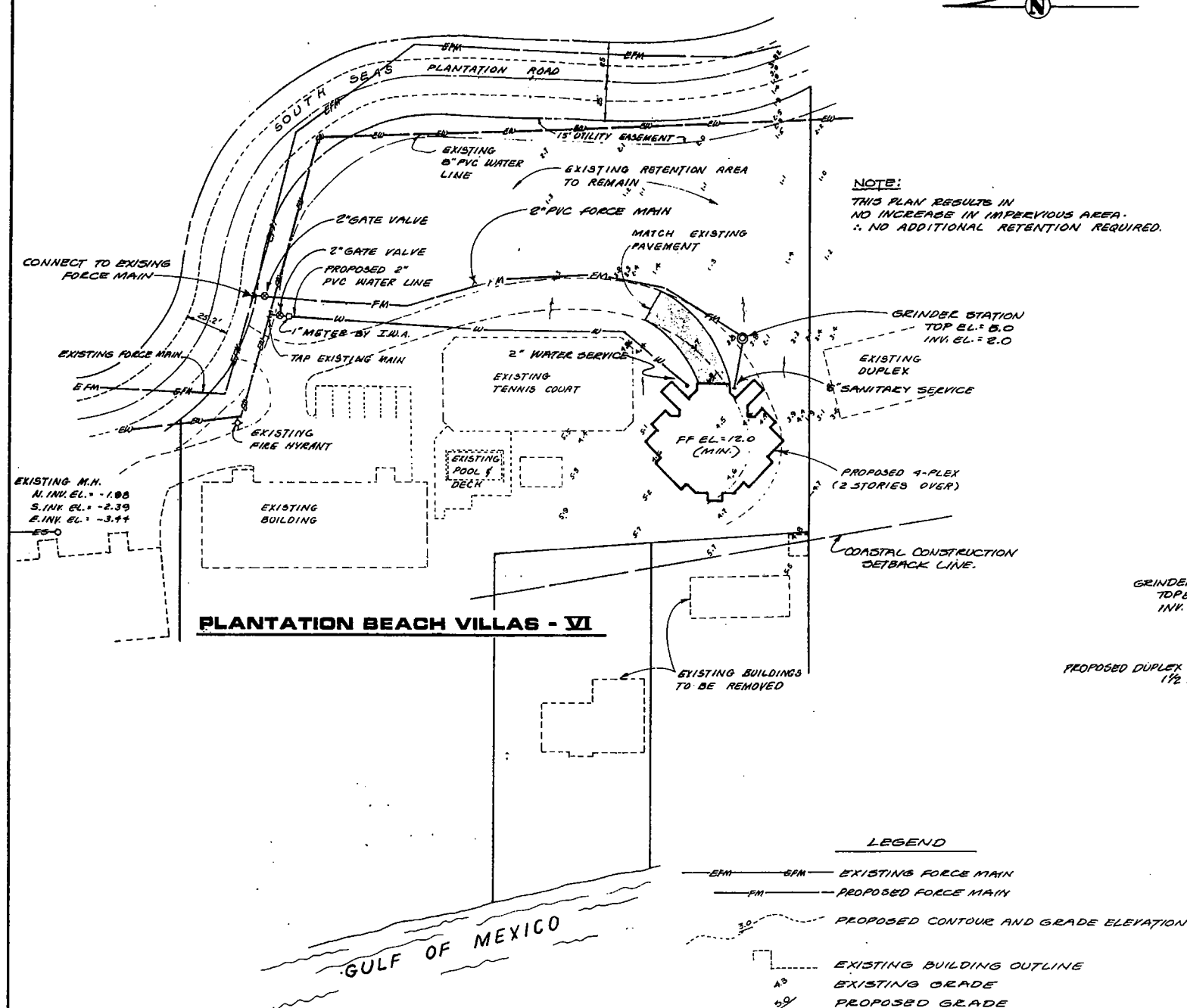
**CAPTIVA ISLAND
LEE COUNTY, FLORIDA**

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS — LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1650, FORT MYERS, FLORIDA 33902-1650 (813) 334-0048

DATE APRIL 1985	PROJECT NO. 13802	FILE NO. 22-45-21	SCALE 1" = 40'	SHEET 6 OF 18
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#13904

AP 20113



NOTE:
THIS PLAN RESULTS IN
NO INCREASE IN IMPERVIOUS AREA.
∴ NO ADDITIONAL RETENTION REQUIRED.

LEGEND

- EFM — EFM — EXISTING FORCE MAIN
- FM — FM — PROPOSED FORCE MAIN
- 32' — 32' — PROPOSED CONTOUR AND GRADE ELEVATION
- — — — — EXISTING BUILDING OUTLINE
- — — — — EXISTING GRADE
- — — — — PROPOSED GRADE
- — — — — EXISTING PAVEMENT
- — — — — PROPOSED PAVEMENT
- EN — EN — EXISTING WATER MAIN
- W — W — PROPOSED WATER SERVICE AND MAIN
- ES — ES — EXISTING SANITARY PIPE
- S — S — PROPOSED SANITARY SERVICE AND MAIN
- — ● — PROPOSED MANHOLE
- ⊙ — ⊙ — PROPOSED GATE VALVE
- ⊙ — ⊙ — EXISTING GATE VALVE
- ⊙ — ⊙ — PROPOSED GRINDER STATION

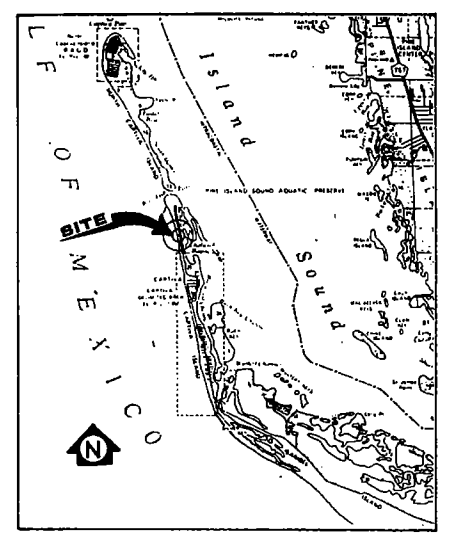
OWNER/DEVELOPER:
SOUTH SEAS PLANTATION COMPANY
13907 N. GREENGOLD BLVD., SW.
FT. MYERS, FLORIDA, 33907
813-481-2011

UTILITIES

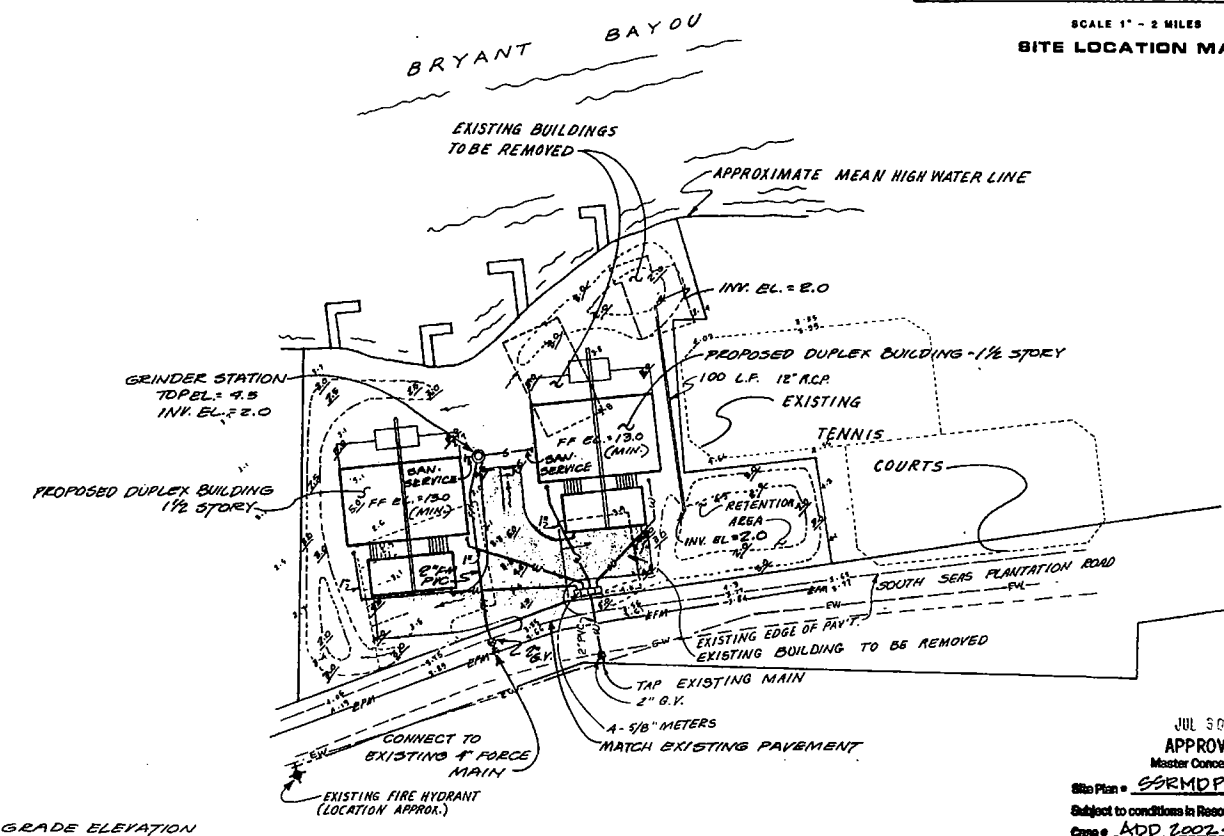
United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 36
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121



SCALE 1" = 2 MILES
SITE LOCATION MAP



NOTE:
LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR
TO CONTACT OWNER AND UTILITY COMPANIES FOR EXISTING
UTILITY LOCATIONS PRIOR TO COMMENCING CONSTRUCTION.

JUL 5 0 37"
APPROVED
Master Concept Plan
Site Plan - SRRMDP Page 12 of 12
Subject to conditions in Resolution 273-202
Case # ADD 2002-00098

PLANTATION BAY VILLAS - VII

DRAWN BY
DOT

CHECKED BY
JWE

APPROVED BY
Joseph W. Eber

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 18388

JOSEPH WALTER EBER
NO. 18388
STATE OF FLORIDA
REGISTERED ENGINEER

REVISED: MAY 20, 1989
REVISED: JULY 5, 1985

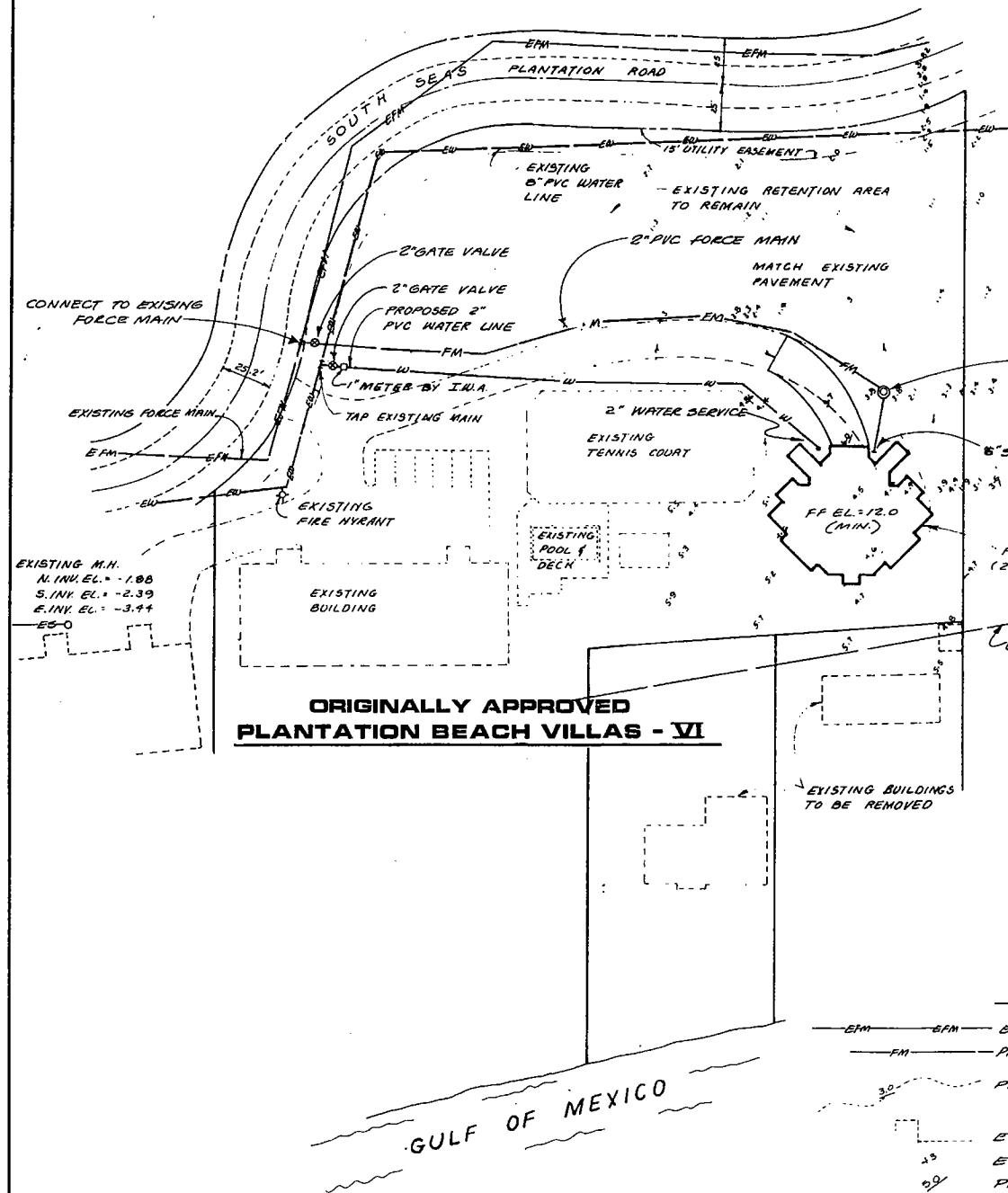
PAVING, GRADING, DRAINAGE,
AND UTILITY PLAN

PLANTATION BEACH VILLAS VI
PLANTATION BAY VILLAS VII
SEC. 22, T. 45 S., R. 21 E.

CAPTIVA ISLAND
LEE COUNTY, FLORIDA

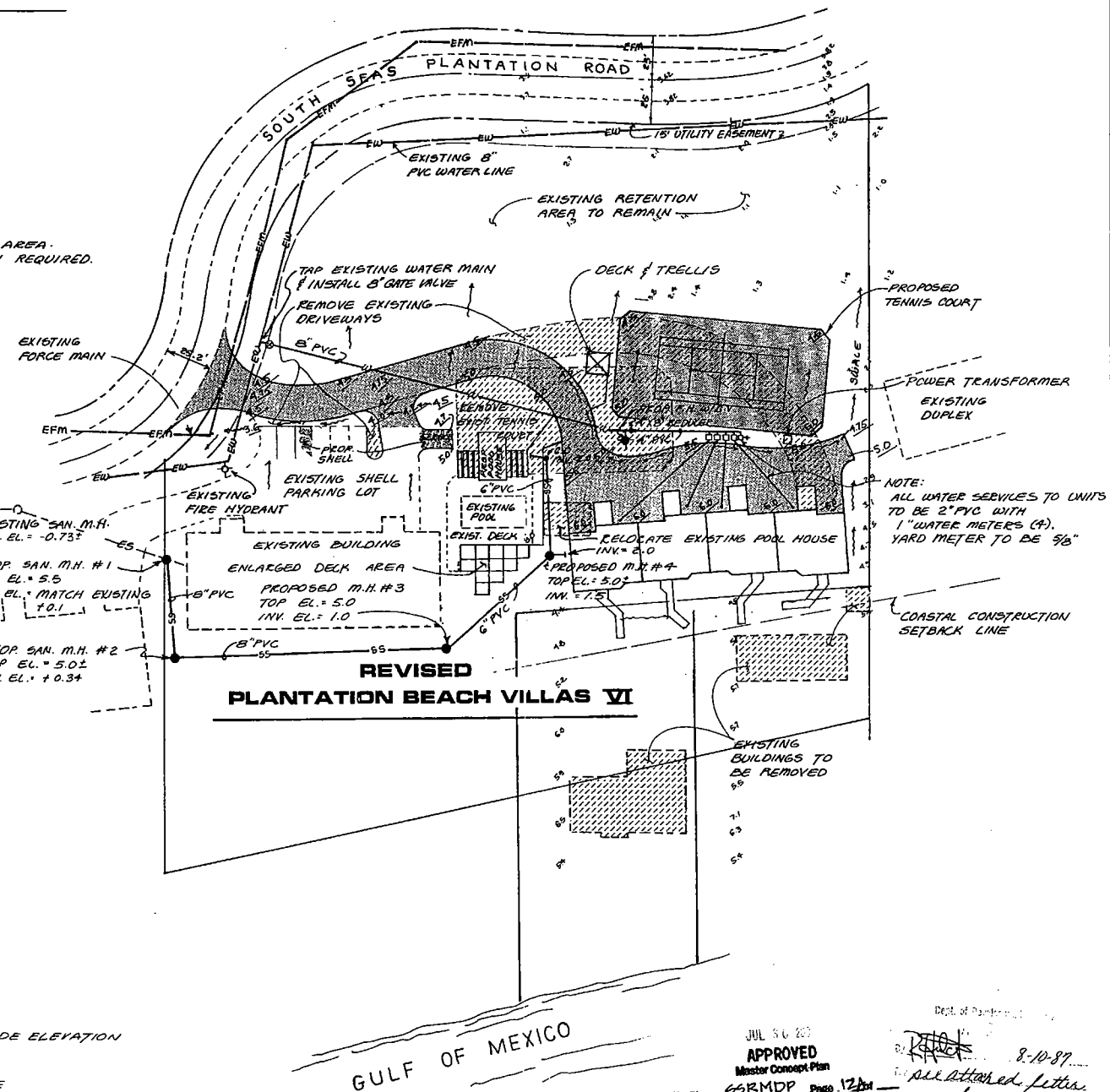
JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS — LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1650, FORT MYERS, FLORIDA 33902-1650 (813) 334-0048

DATE APRIL 1985	PROJECT NO. 13904 13905	FILE NO. 22-45-21	SCALE 1" = 40'	SHEET 7 OF 10
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ORIGINALLY APPROVED
PLANTATION BEACH VILLAS - VI

NOTE:
THIS PLAN RESULTS IN
NO INCREASE IN IMPERVIOUS AREA.
∴ NO ADDITIONAL RETENTION REQUIRED.



REVISED
PLANTATION BEACH VILLAS VI

NOTE:
ALL WATER SERVICES TO UNITS
TO BE 2" PVC WITH
1" WATER METERS (4).
YARD METER TO BE 5/8"

LEGEND

- EFM — EFM — EXISTING FORCE MAIN
- FM — FM — PROPOSED FORCE MAIN
- — — — — PROPOSED CONTOUR AND GRADE ELEVATION
- — — — — EXISTING BUILDING OUTLINE
- — — — — EXISTING GRADE
- — — — — PROPOSED GRADE
- — — — — EXISTING PAVEMENT
- — — — — PROPOSED PAVEMENT
- — — — — EXISTING WATER MAIN
- — — — — PROPOSED WATER SERVICE AND MAIN
- — — — — EXISTING SANITARY PIPE
- — — — — PROPOSED SANITARY SERVICE AND MAIN
- — — — — — PROPOSED MANHOLE
- — — — — — PROPOSED GATE VALVE
- ⊙ — — — — — EXISTING GATE VALVE
- ⊙ — — — — — PROPOSED GRINDER STATION

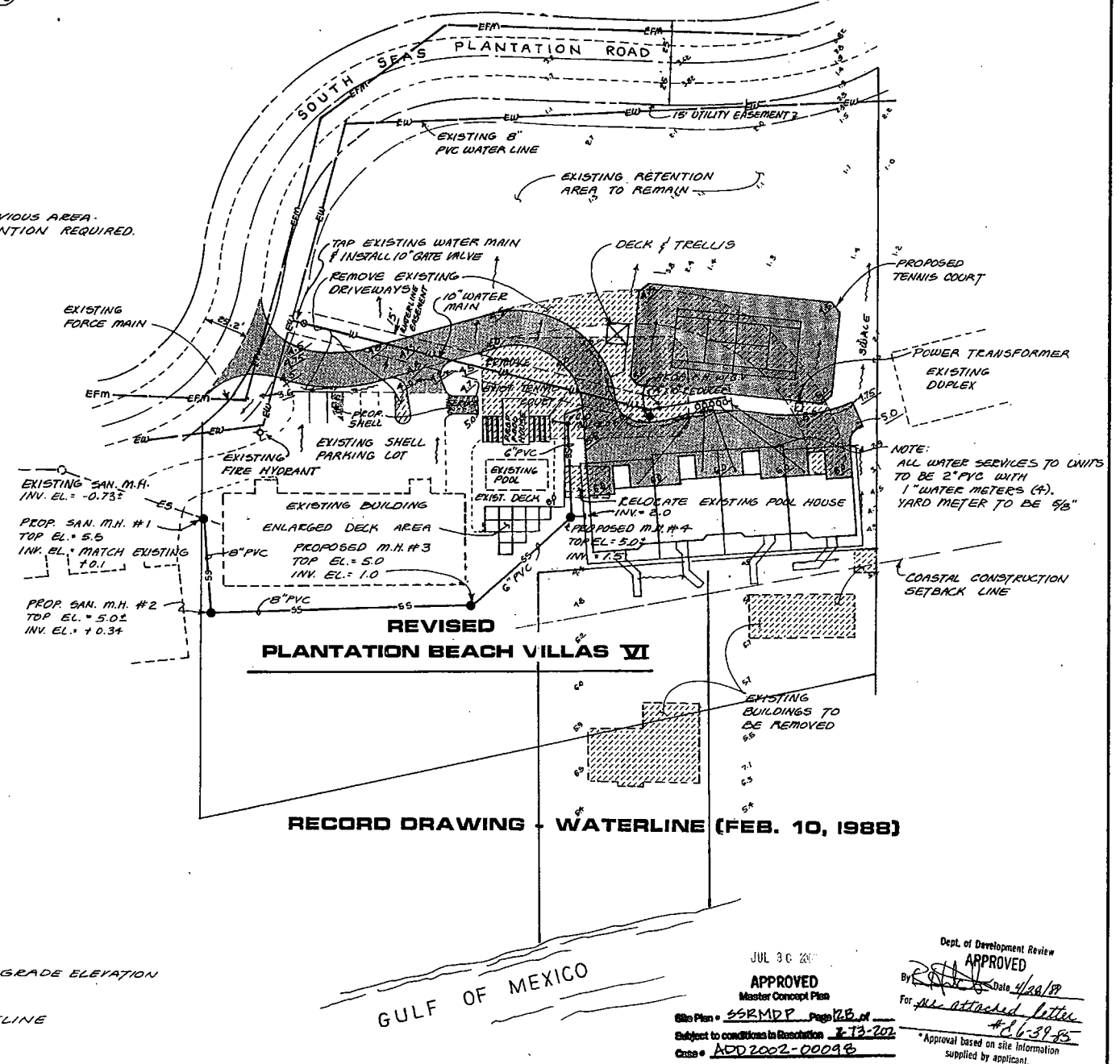
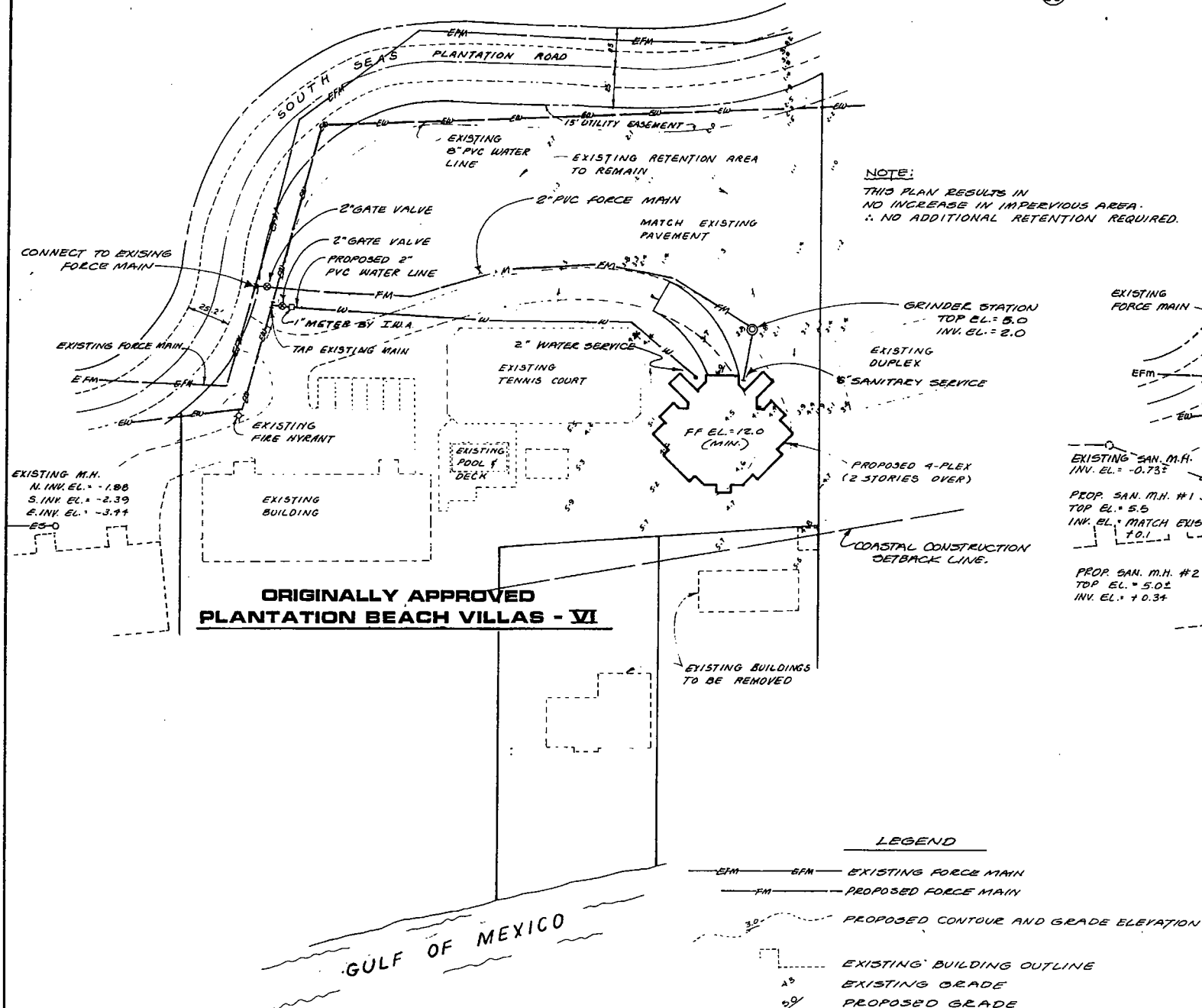
OWNER/DEVELOPER:
PLANTATION DEVELOPMENT LTD.
C/O MARINER PROPERTIES INC.
13391 M^{RS} GREGOR BLVD., SW.
FT. MYERS, FLORIDA, 33907
013-181-2011

UTILITIES
United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165
Island Water Association
P.O. Box 50
Sanibel Island, Florida 33957
813-472-1504
Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

GULF OF MEXICO

JUL 30 1987
APPROVED
Master Concept Plan
Site Plan - SSRMDP Page 12 of 14
Subject to conditions in Resolution 8-73-202
Case # ADD2002-00098
8-10-87
see attached letter
8-6-88

REVISED: JULY 27, 1987 FOR PLANTATION BEACH VILLAS VI ONLY			
DESIGNED BY DOT	CHECKED BY JWE	PAVING, GRADING, DRAINAGE, AND UTILITY PLAN	
APPROVED BY <i>Joseph E. Johnson</i> REGISTERED PROFESSIONAL ENGINEER FLORIDA LICENSE NO. 19359		PLANTATION BEACH VILLAS VI PLANTATION BAY VILLAS VII SEC. 22, T. 45 S., R. 21 E.	
JOSEPH WALTER JOHNSON REGISTERED PROFESSIONAL ENGINEER FLORIDA LICENSE NO. 19359		CAPTIVA ISLAND LEE COUNTY, FLORIDA	
JOHNSON ENGINEERING, INC. CIVIL ENGINEERS — LAND SURVEYORS 2158 JOHNSON STREET POST OFFICE BOX 1550 FORT MYERS, FLORIDA 33902-1550 (813) 334-0048		DATE APRIL 1988	
PROJECT NO. 13904	FILE NO. 22-45-21	SCALE 1" = 40'	SHEET 7 OF 18



REVISOR: APRIL 5, 1988 (REVISED TO SHOW TOWNHOUSE LOT LINES PER APPROVED VARIANCE NO. 8-2-221)

REVISOR: FEB. 10, 1988

REVISOR: JULY 27, 1987 FOR PLANTATION BEACH VILLAS VI ONLY

PAVING, GRADING, DRAINAGE, AND UTILITY PLAN

PLANTATION BEACH VILLAS VI

PLANTATION BAY VILLAS VII

SEC. 22, T. 45 S., R. 21 E.

CAPTIVA ISLAND

LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS — LAND SURVEYORS

2158 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0045

DATE: APRIL 1988 PROJECT NO: 13904 FILE NO: 22-45-21 SCALE: 1" = 40' SHEET: 7 OF 18

REVISOR: MAY 20, 1988

REVISOR: JULY 5, 1985

APPROVED BY: [Signature]

REGISTERED PROFESSIONAL ENGINEER

FLORIDA CERTIFICATE NO. 19359

JOSEPH WALTER ELLER

CERTIFICATE NO. 19359

STATE OF FLORIDA

REGISTERED ENGINEER

OWNER/DEVELOPER:

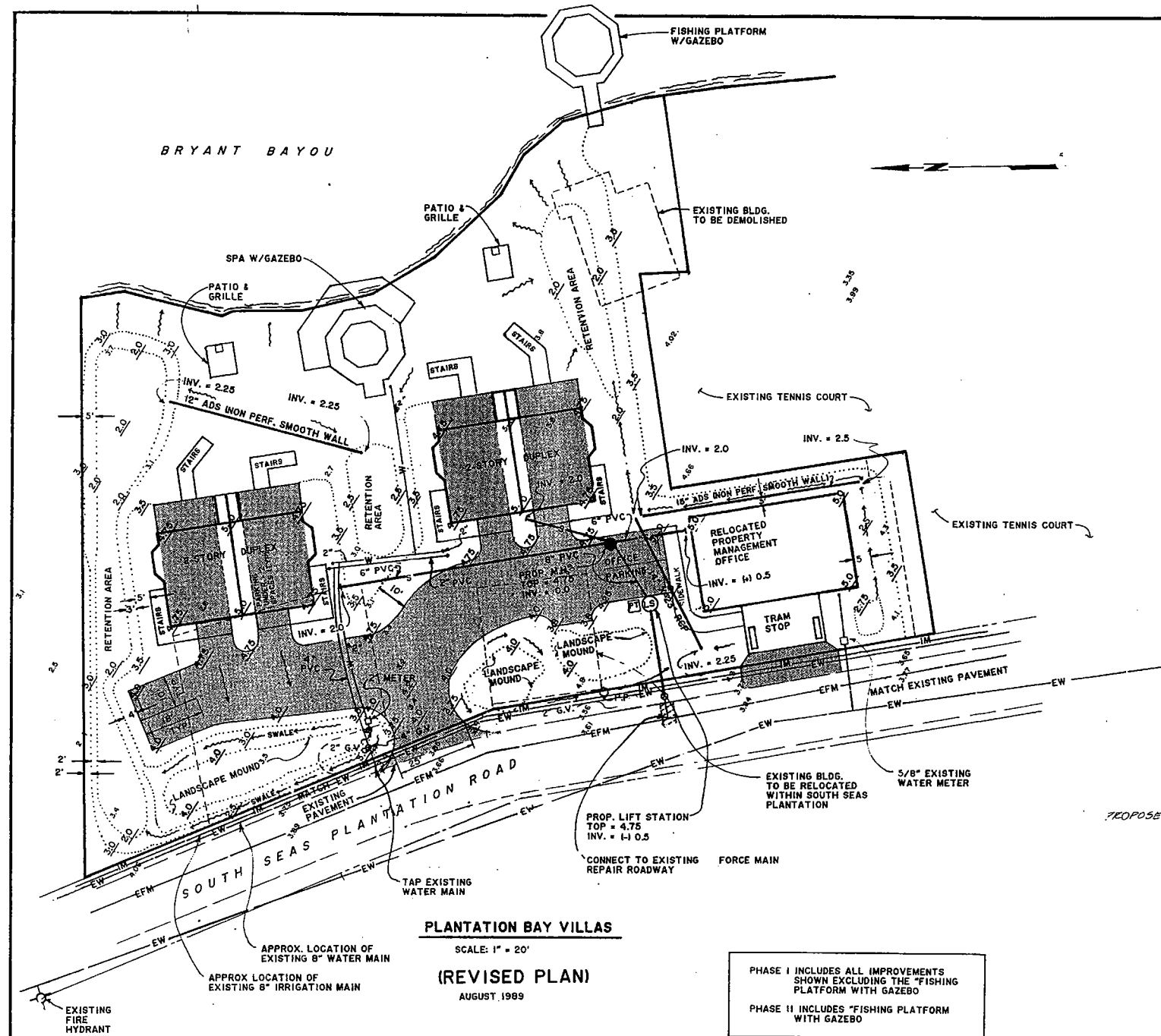
PLANTATION DEVELOPMENT LTD.

C/O MARINER PROPERTIES INC.

13391 M. GREGOR BLVD., SW.

FT. MYERS, FLORIDA, 33907

813-481-2011



UTILITIES

UNITED TELEPHONE COMPANY
 1520 LEE STREET
 FT. MYERS, FLORIDA
 (813) 335-8511

ISLAND WATER ASSOCIATION
 P.O. BOX 56
 SANIBEL ISLAND, FLORIDA 33957
 (813) 472-1504

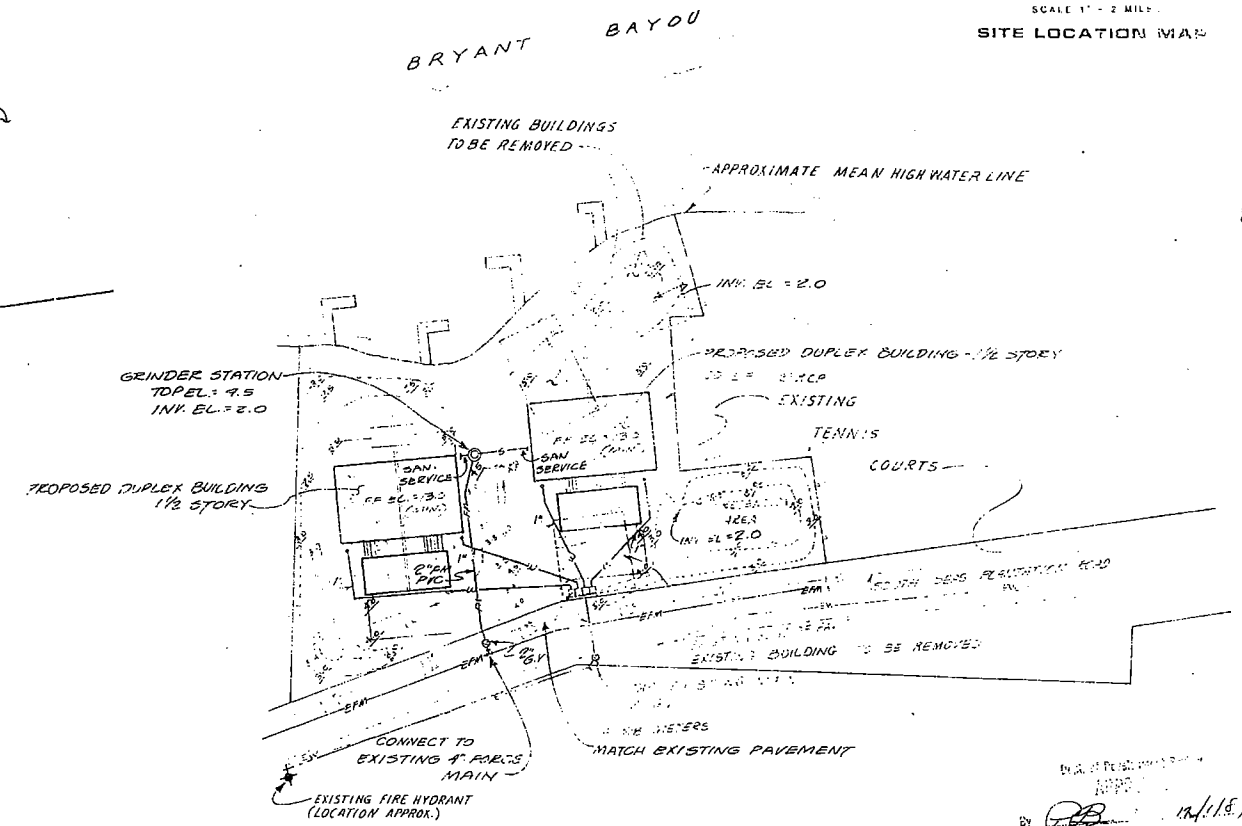
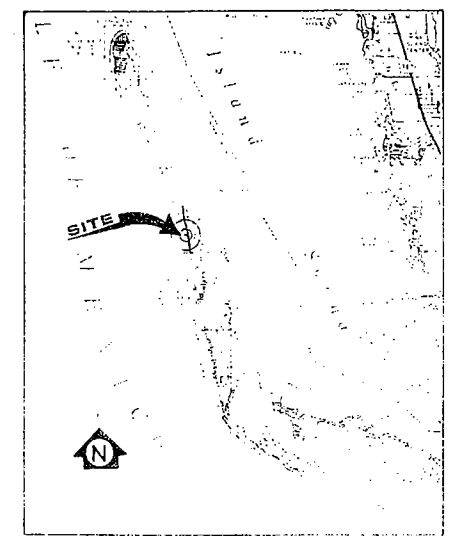
LEE COUNTY ELECTRIC CO-OPERATIVE
 179 BAYSHORE ROAD
 NORTH FORT MYERS, FLORIDA
 (813) 995-2121

SANIBEL DISPOSAL SERVICE
 PINE RIDGE ROAD
 SANIBEL ISLAND, FLORIDA
 (813) 466-8600

CABLEVISION OF THE ISLANDS
 1571 PERIMINKLE WAY
 SANIBEL ISLAND, FLORIDA
 (813) 472-4787

- LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - DIRECTION OF SURFACE FLOW
 - PROPOSED CONTOUR
 - PROPOSED PAVEMENT
 - POWER TRANSFORMER (EXISTING)

OWNER/DEVELOPER:
 PLANTATION DEVELOPMENT LTD.
 13391 MCGREGOR BLVD., S.W.
 FT. MYERS, FLORIDA
 813-481-2011 33919



REVISED: OCTOBER 2, 1989

DRAWN BY
 DOT

CHECKED BY
 JWE

APPROVED BY
 [Signature]

REGISTERED PROFESSIONAL ENGINEER
 FLORIDA CERTIFICATE NO. 19359

JOSEPH WALTER THOMPSON
 NO. 19359
 STATE OF FLORIDA
 REGISTERED ENGINEER

PAVING, GRADING, DRAINAGE & UTILITY PLAN

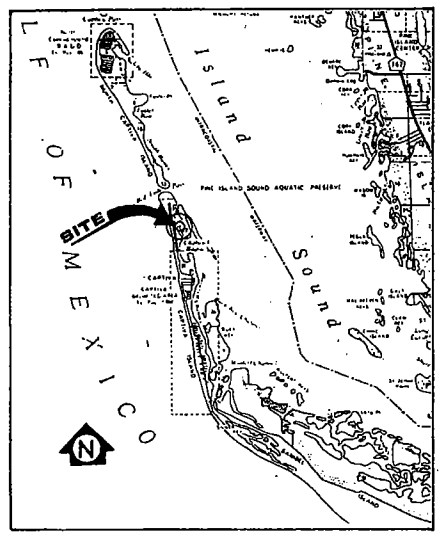
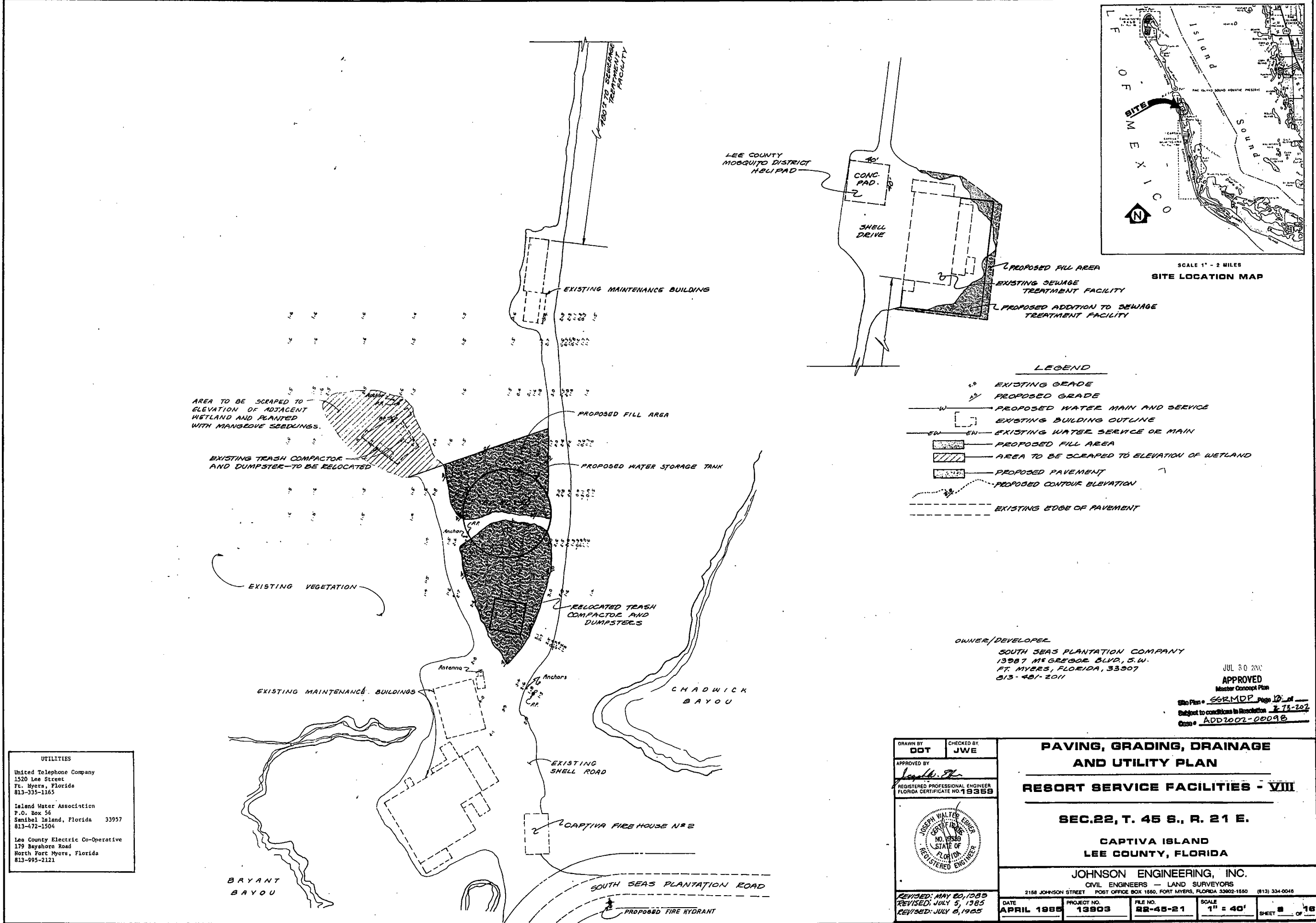
**- SOUTH SEAS PLANTATION -
 PLANTATION BAY VILLAS**

**SECTION 22, TWP. 45 S., RGE. 21 E.
 CAPTIVA ISLAND
 LEE COUNTY, FLORIDA**

JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 2158 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0048

DATE APRIL 1985	PROJECT NO. 17933	FILE NO. 22-45-21	SCALE SHOWN	SHEET 7 OF 16
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APPROVED
 JUL 30 2000
 Master Concept Plan
 Subject to conditions in Resolution 7-73-2002
 Case # ADD2002-00098



- LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - PROPOSED WATER MAIN AND SERVICE
 - EXISTING BUILDING OUTLINE
 - EXISTING WATER SERVICE OR MAIN
 - PROPOSED FILL AREA
 - AREA TO BE SCRAPED TO ELEVATION OF WETLAND
 - PROPOSED PAVEMENT
 - PROPOSED CONTOUR ELEVATION
 - EXISTING EDGE OF PAVEMENT

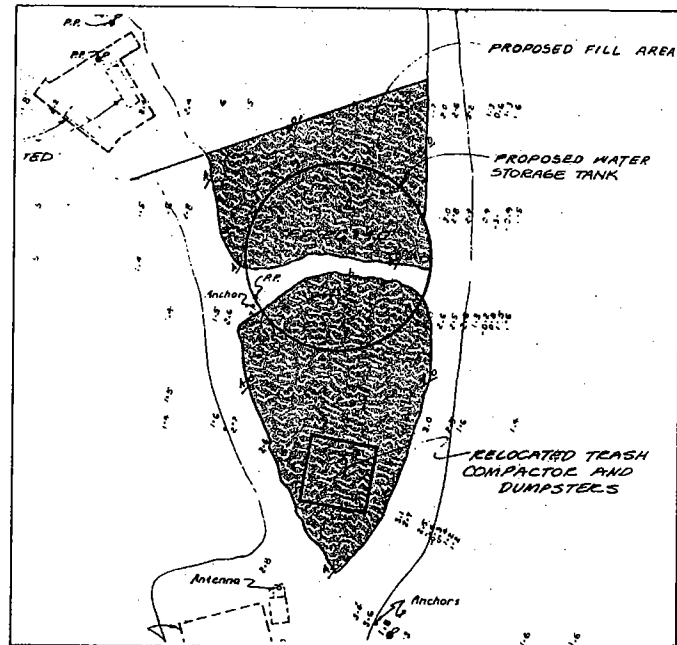
OWNER/DEVELOPER
SOUTH SEAS PLANTATION COMPANY
13987 M^{RS} GREGG BLVD., S.W.
FT. MYERS, FLORIDA, 33907
813-481-2011

JUL 30 2001
APPROVED
Master Concept Plan
Site Plan - SORMDP Page 12 of 12
Subject to conditions in Resolution 75-207
Case - ADD2002-00098

UTILITIES
United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165
Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504
Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

DRAWN BY: DDT
CHECKED BY: JWE
APPROVED BY: [Signature]
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 18358
[Professional Seal: JOSEPH WALTER LEWIS, CIVIL ENGINEER, NO. 18358, STATE OF FLORIDA, REGISTERED ENGINEER]
REVISED: MAY 20, 1985
REVISED: JULY 5, 1985
REVISED: JULY 8, 1985

**PAVING, GRADING, DRAINAGE
AND UTILITY PLAN**
RESORT SERVICE FACILITIES - VIII
SEC. 22, T. 45 S., R. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA
JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1650, FORT MYERS, FLORIDA 33902-1650 (813) 334-0046
DATE: APRIL 1985 PROJECT NO.: 13903 FILE NO.: 22-45-21 SCALE: 1" = 40' SHEET: 18 OF 18



PREVIOUSLY APPROVED PLAN

AREA TO BE SCRAPED TO ELEVATION OF ADJACENT WETLAND AND PLANTED WITH MANGROVE SEEDLINGS

EXISTING TRASH COMPACTOR AND DUMPSTER TO BE RELOCATED

PROPOSED WATER TANK PUMP HOUSE

ITEM # 2

PROPOSED IRRIGATION STORAGE TANK

PROPOSED IRRIGATION PUMP HOUSE

RELOCATED TRASH COMPACTOR & DUMPSTERS

EXISTING MAINTENANCE BUILDINGS

CHADWICK BAYOU

EXISTING SHELL ROAD

EXISTING MAINT. BLDG.

BRYANT BAYOU

SOUTH SEAS PLANTATION ROAD

PROPOSED FIRE HYDRANT

LEE COUNTY MOSQUITO DISTRICT HELIPAD

CONC. PAD.

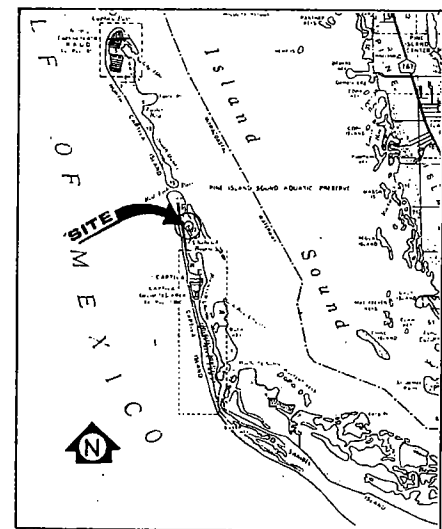
SHELL DRIVE

ITEM # 1

2' FILL AREA

EXISTING SEWAGE TREATMENT FACILITY

PROPOSED ADDITION TO SEWAGE TREATMENT FACILITY



RECEIVED
MAR 11 1988

ZONING COUNTER

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED WATER MAIN AND SERVICE
- EXISTING BUILDING OUTLINE
- EXISTING WATER SERVICE OR MAIN
- PROPOSED FILL AREA
- AREA TO BE SCRAPED TO ELEVATION OF WETLAND
- PROPOSED PAVEMENT
- PROPOSED CONTOUR ELEVATION
- EXISTING EDGE OF PAVEMENT

JUL 30 2005
APPROVED
Master Concept Plan
Site Plan # 55RMDP Page 13A of 13
Subject to conditions in Resolution # 73-202
Case # ADD-00098

OWNER/DEVELOPER

SOUTH SEAS PLANTATION COMPANY
13987 MCGREGOR BLVD., S.W.
FT. MYERS, FLORIDA, 33907
813-481-2011

Dept. of Development Review

APPROVED

By *[Signature]* Date 4/15/88

For *[Signature]* 4/6/88

* Approval based on site information supplied by applicant.

PROPOSED ADDITION TO SEWAGE TREATMENT PLANT

DRAWN BY
DOT

CHECKED BY
JWE

APPROVED BY
[Signature]

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19359



REVISED: MARCH 21, 1988
REVISED: MAY 20, 1985
REVISED: JULY 5, 1985
REVISED: JULY 2, 1985

PAVING, GRADING, DRAINAGE
AND UTILITY PLAN

RESORT SERVICE FACILITIES - VIII

SEC. 22, T. 45 S., R. 21 E.

CAPTIVA ISLAND
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS - LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0048

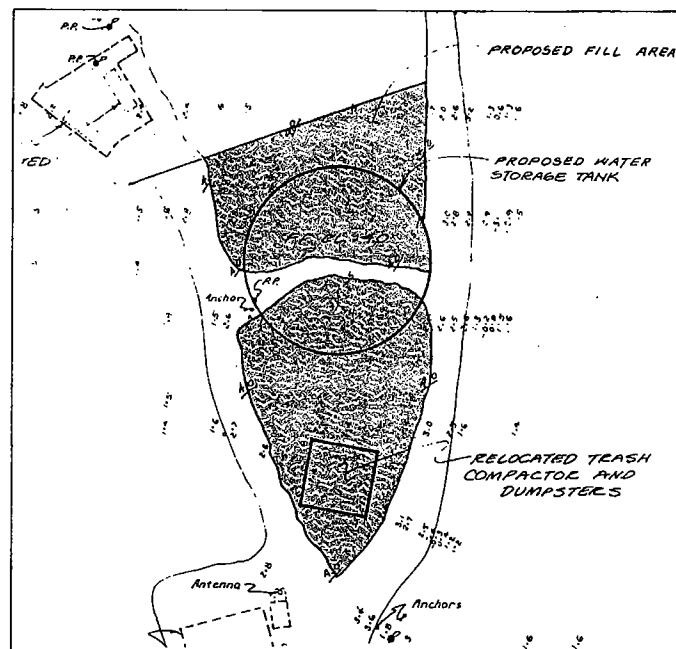
DATE APRIL 1985	PROJECT NO. 13903	FILE NO. 22-45-21	SCALE 1" = 40'	SHEET 8 OF 16
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UTILITIES

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121



PREVIOUSLY APPROVED PLAN

AREA TO BE SCRAPED TO ELEVATION OF ADJACENT WETLAND AND PLANTED WITH MANGROVE SEEDLINGS

EXISTING TRASH COMPACTOR AND DUMPSTER TO BE RELOCATED

PROPOSED WATER TANK PUMP HOUSE

EXISTING VEGETATION

ITEM # 3

PROPOSED ROOF OVER EXISTING SLAB ON-GRADE

EXISTING MAINTENANCE BUILDINGS

ITEM # 4

REPLACE EXISTING WOOD FRAME BLDG. WITH METAL BLDG.

ADDITION TO SEWAGE TREATMENT FACILITY

EXISTING MAINTENANCE BUILDING

ITEM # 2

PROPOSED IRRIGATION STORAGE TANK

PROPOSED IRRIGATION PUMP HOUSE

RELOCATED TRASH COMPACTOR & DUMPSTERS

EXISTING SHELL ROAD

EXISTING MAINT. BLDG.

SOUTH SEAS PLANTATION ROAD

LEE COUNTY MOSQUITO DISTRICT HELIPAD

CONC. PAD.
SHELL DRIVE

ITEM # 1

FILL AREA

EXISTING SEWAGE TREATMENT FACILITY

PROPOSED ADDITION TO SEWAGE TREATMENT FACILITY

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED WATER MAIN AND SERVICE
- EXISTING BUILDING OUTLINE
- EXISTING WATER SERVICE OR MAIN
- PROPOSED FILL AREA
- AREA TO BE SCRAPED TO ELEVATION OF WETLAND
- PROPOSED PAVEMENT
- PROPOSED CONTOUR ELEVATION
- EXISTING EDGE OF PAVEMENT

OWNER/DEVELOPER

SOUTH SEAS PLANTATION COMPANY
13987 M^{rs} GREGG BLVD., S.W.
FT. MYERS, FLORIDA, 33907
613-481-2011

Dept. of Development Services
APPROVED
By: *[Signature]* 3/29/91
For: *[Signature]* 6-31-85
2. *[Signature]* *[Signature]*
Exemption Type: *[Signature]*
Zoning: *[Signature]*
JUL 10 1990

APPROVED

Master Concept Plan

Site Plan: *[Signature]* Page 128 of 128
Subject to conditions in Resolution 1-73-201
Case: ADD 2002-00096

PROPOSED ADDITION TO SEWAGE TREATMENT PLANT

UTILITIES
United Telephone Company
1530 Lee Street
Ft. Myers, Florida
813-335-1165
Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504
Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

BRYANT BAYOU

CHADWICK BAYOU

DRAWN BY
DOT
CHECKED BY
JWE
APPROVED BY
[Signature]
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO 18359

JOSEPH WALTER
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO 18359

REVISED: MARCH 21, 1988
REVISED: MARCH 2, 1988
REVISED: MAY 20, 1985
REVISED: JULY 5, 1985
REVISED: JULY 2, 1985

PAVING, GRADING, DRAINAGE
AND UTILITY PLAN

RESORT SERVICE FACILITIES - VIII

SEC. 22, T. 45 S., R. 21 E.

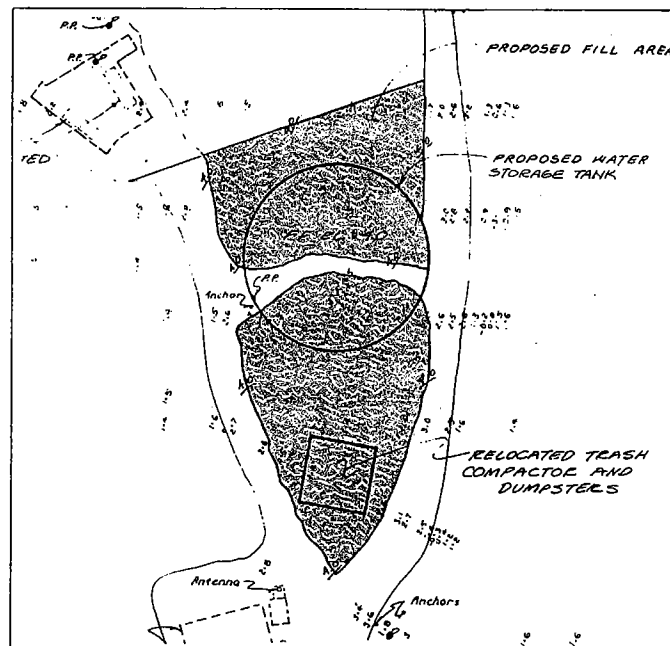
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.

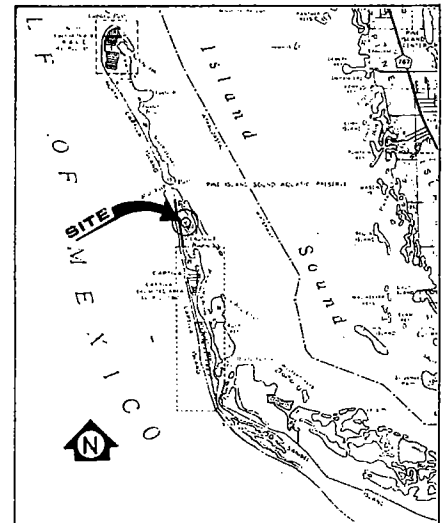
CIVIL ENGINEERS - LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0046

DATE: APRIL 1988 PROJECT NO.: 13903 FILE NO.: 22-45-21 SCALE: 1" = 40' SHEET: 8 OF 16

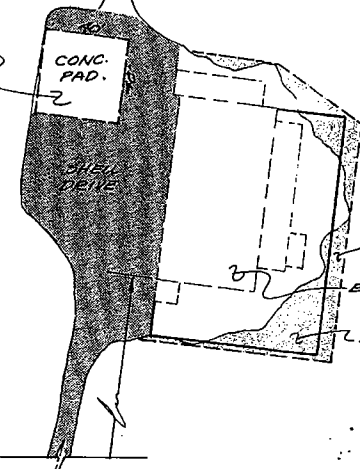
REVISED: 3-14-91 ADDED ITEMS #3 & #4



PREVIOUSLY APPROVED PLAN



LEE COUNTY MOSQUITO DISTRICT HELIPAD



ITEM # 1

FILL AREA
EXISTING SEWAGE TREATMENT FACILITY
PROPOSED ADDITION TO SEWAGE TREATMENT FACILITY

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED WATER MAIN AND SERVICE
- EXISTING BUILDING OUTLINE
- EXISTING WATER SERVICE OR MAIN
- PROPOSED FILL AREA
- AREA TO BE SCRAPED TO ELEVATION OF WETLAND
- PROPOSED PAVEMENT
- PROPOSED CONTOUR ELEVATION
- EXISTING EDGE OF PAVEMENT

MINOR CHANGE
6-29-92

Dept. of Development Review
APPROVED
By: [Signature] Date: 8/5/92
For: 12-1506-139 015
PAVED CLEAR
Exemption Type: 1
Zoning: F.E.M.A. 1/1A
Approval based on site information supplied by applicant.

RECEIVED
JUL 22 1992
Development REVIEW DIVISION

OWNER/DEVELOPER
SOUTH SEAS PLANTATION COMPANY
13987 ME GREGOR BLVD., S.W.
FT. MYERS, FLORIDA, 33907
813-481-2011

JUL 30 1992
APPROVED
Master Concept Plan
Site Plan: SSRMDP Page 1304
Subject to conditions to Resolution 273-202
Case: ADD2002-00098

ITEM # 3 NOTE
PROPOSED BLDG. ADDITION IS IN FLOOD ZONE A11 ELEV. 12 NGVD1 FROM FIRM PANEL 262 OF 550, DATED 1984, PANEL # 12512402628

ITEM # 4 NOTE
PROPOSED BLDG. ADDITION IS IN FLOOD ZONE V14 ELEV. 13 NGVD1 FROM FIRM PANEL 262 OF 550, DATED 1984, PANEL # 12512402628

UTILITIES
United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165
Island Water Association
P.O. Box 36
Sanibel Island, Florida 33957
813-472-1504
Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

AREA TO BE SCRAPED TO ELEVATION OF ADJACENT WETLAND AND PLANTED WITH MANGROVE SEEDLINGS

EXISTING TRASH COMPACTOR AND DUMPSTER TO BE RELOCATED

PROPOSED WATER TANK PUMP HOUSE

ITEM # 2

PROPOSED IRRIGATION STORAGE TANK

PROPOSED IRRIGATION PUMP HOUSE

PROPOSED FIRE HYDRANT

RELOCATED TRASH COMPACTOR & DUMPSTERS

EXISTING MAINTENANCE BUILDINGS

PROPOSED ROOF OVER EXISTING SLAB ON-GRADE

ITEM # 4

REPLACE EXISTING WOOD FRAME BLDG. WITH METAL BLDG.

PROPOSED 6" PVC WATER MAIN

TAP EXISTING WATER MAIN

EXISTING SHELL ROAD

EXISTING 12" DIP WATER MAIN

EXISTING MAINT. BLDG.

CHADWICK BAYOU

BRYANT BAYOU

REVISED: JUNE 29, 1992 MINOR CHNG
REVISED: DEC. 4, 1991 - Flood Elev.

REVISED: MAY 10, 1991 ITEM # 4 NOTE
REVISED: 4-18-91 ADDED ITEM #3 NOTE
REVISED: 3-15-91 ADDED 8" WATER MAIN & FIRE HYDRANT
REVISED: 3-14-91 ADDED ITEMS #3 & #4

DRAWN BY DOT CHECKED BY JWE
APPROVED BY [Signature]
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO 19359
JOSEPH WALTER LEWIS
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
EXPIRATION DATE 12/31/95

PROPOSED ADDITION TO SEWAGE TREATMENT PLANT

PAVING, GRADING, DRAINAGE AND UTILITY PLAN

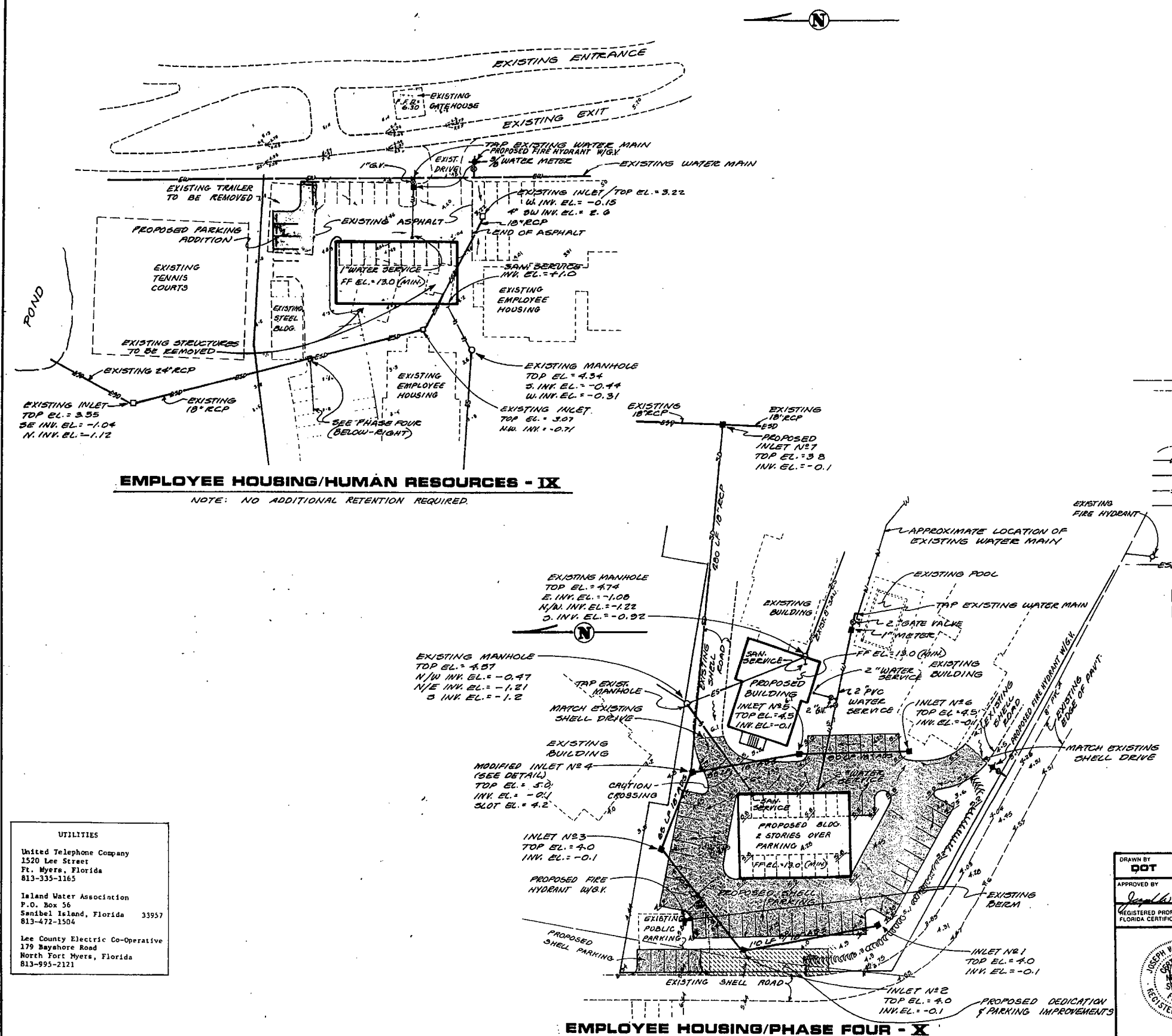
RESORT SERVICE FACILITIES - VIII

SEC.22, T. 45 S., R. 21 E.

CAPTIVA ISLAND
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0048

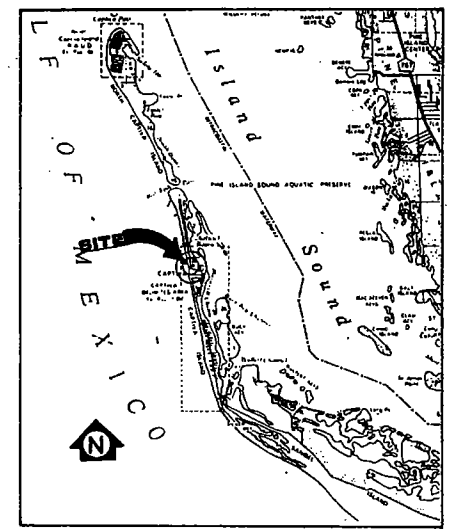
DATE APRIL 1985	PROJECT NO. 13903	FILE NO. 22-45-21	SCALE 1" = 40'	SHEET 8 OF 18
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EMPLOYEE HOUSING/HUMAN RESOURCES - IX

NOTE: NO ADDITIONAL RETENTION REQUIRED.

EMPLOYEE HOUSING/PHASE FOUR - X



SCALE 1" = 2 MILES
SITE LOCATION MAP

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- EXISTING PAVEMENT
- EXISTING BUILDING
- PROPOSED PAVEMENT
- PROPOSED CONTOUR AND GRADE ELEVATION
- PROPOSED WATER SERVICE AND MAIN
- EXISTING WATER SERVICE
- PROPOSED SANITARY SERVICE AND MAIN
- EXISTING SANITARY SERVICE
- EXISTING INLET
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- EXISTING STORM DRAIN
- EXISTING SANITARY MANHOLE
- PROPOSED SHELL
- PROPOSED DEDICATION & PARKING IMPROVEMENTS

OWNER/DEVELOPER
SOUTH SEAS PLANTATION COMPANY
13987 MCGRASS BLVD., S.W.
FT. MYERS, FLORIDA, 33907
813-481-2011

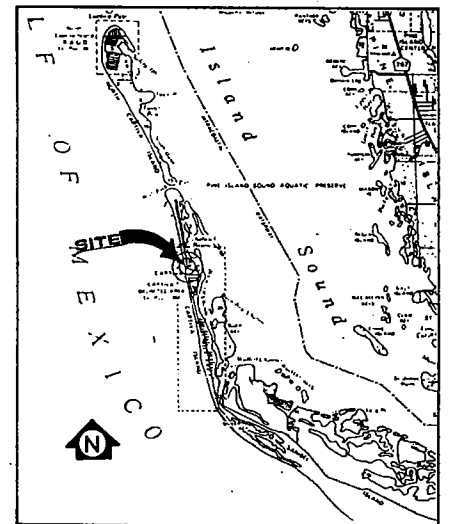
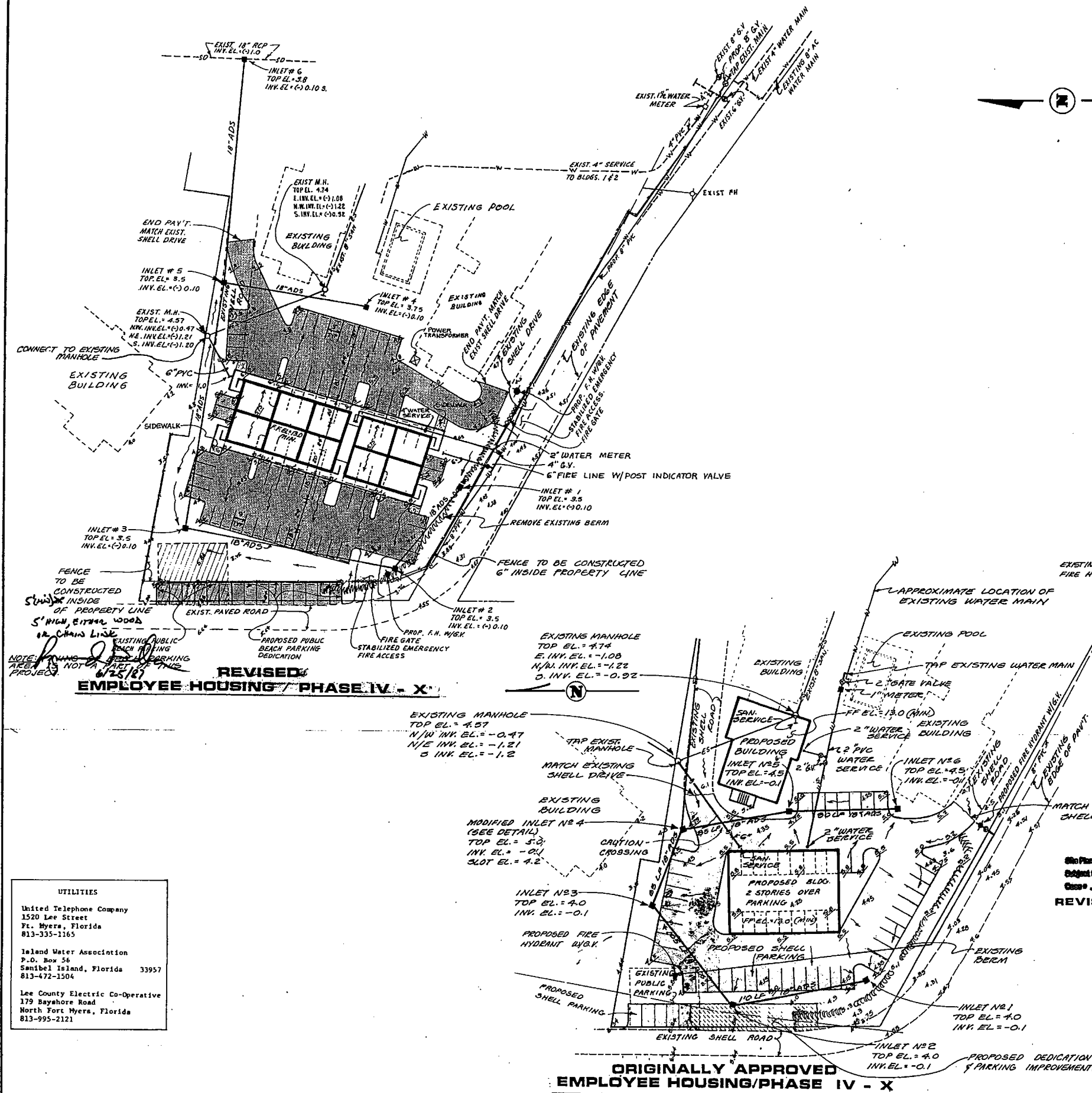
NOTE: LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR TO CONTACT OWNER AND UTILITY COMPANIES FOR EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING CONSTRUCTION.

APPROVED JUL 30 2002
Master Concept Plan
Site Plan: SSMOP Page 14 of 14
Subject to conditions in Resolution 2-73-202
Case: ADD2002-00098

UTILITIES
United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165
Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504
Lee County Electric Co-Operative
119 Bayshore Road
North Fort Myers, Florida
813-995-2121

DRAWN BY: DOT
CHECKED BY: JWE
APPROVED BY: Joseph W. Egan
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19359
JOSEPH W. EGAN
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19359

PAVING, GRADING, DRAINAGE AND UTILITY PLAN			
EMPLOYEE HOUSING/HUMAN RESOURCES - IX			
EMPLOYEE HOUSING/PHASE FOUR - X			
SEC. 26, T. 45 S., R. 21 E.			
CAPTIVA ISLAND			
LEE COUNTY, FLORIDA			
JOHNSON ENGINEERING, INC.			
CIVIL ENGINEERS - LAND SURVEYORS			
2158 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0040			
DATE: APRIL 1985	PROJECT NO: 13906	FILE NO: 86-45-21	SCALE: 1" = 40'
REVISED: MAY 20, 1985	REVISED: JULY 5, 1985	REVISED: JULY 8, 1985	SHEET 9 OF 18



SITE LOCATION MAP

Dept. of Development Review

APPROVED

By *[Signature]* Date 6/1/87

For *[Signature]* Change 01/1/1987

Initial 6/1/87

Approval based on site information supplied by applicant.

APPROVED

Master Concept Plan JUL 30 2002

Site Plan - GERMDDP Page 14 of 14

Subject to conditions in Resolution 1-12-2002

Case # ADD2002-00098

REVISED: MAY 26, 1987 EMPLOYEE HOUSING PHASE FOUR - X ONLY

DRAWN BY DOT

CHECKED BY JWE

APPROVED BY *[Signature]*

REGISTERED PROFESSIONAL ENGINEER

FLORIDA CERTIFICATE NO 19359

JOSEPH WALTER ENGINEER

STATE OF FLORIDA

REGISTERED ENGINEER

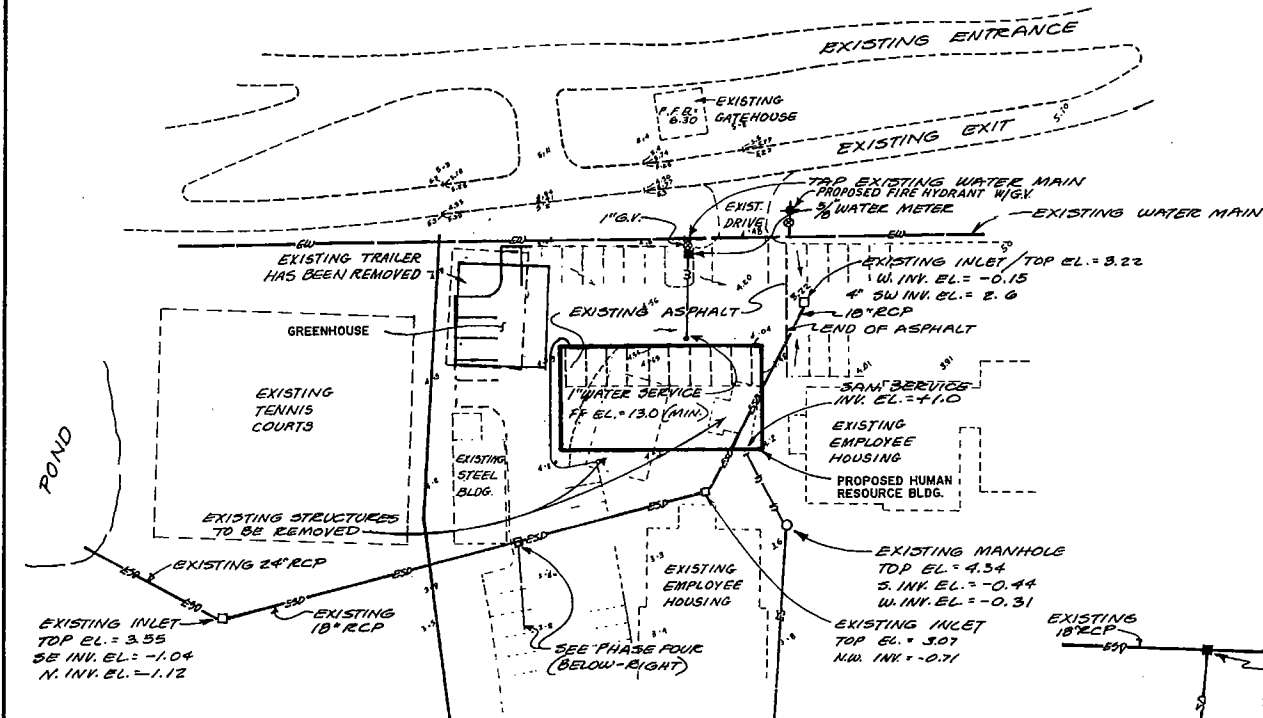
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REVISED: MAY 20, 1985

REVISED: JULY 5, 1985

REVISED: JULY 8, 1985

RECEIVED
JUN 4 1987
LEE COUNTY

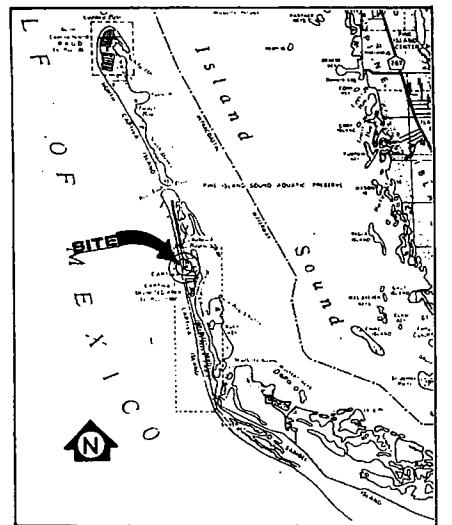
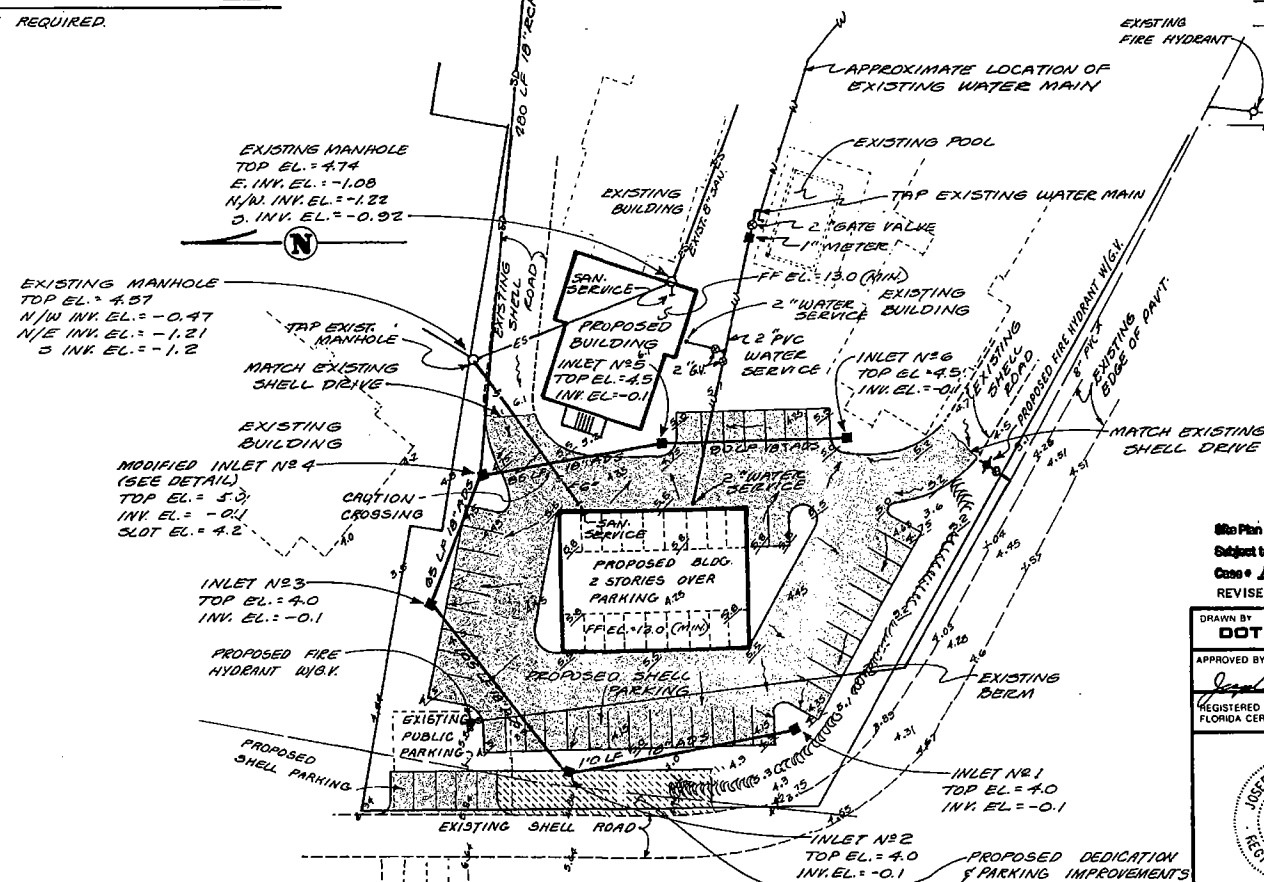


UTILITIES

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

**LEGEND**

- EXISTING GRADE
- PROPOSED GRADE
- EXISTING PAVEMENT
- EXISTING BUILDING
- PROPOSED PAVEMENT
- PROPOSED CONTOUR AND GRADE ELEVATION
- PROPOSED WATER SERVICE AND MAIN
- EXISTING WATER SERVICE
- PROPOSED SANITARY SERVICE AND MAIN
- EXISTING SANITARY SERVICE
- EXISTING INLET
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- EXISTING STORM DRAIN
- EXISTING SANITARY MANHOLE
- PROPOSED CHASE
- PROPOSED DEDICATION & PARKING IMPROVEMENTS

OWNER/DEVELOPER

SOUTH SEAS PLANTATION COMPANY
13087 MCGREGOR BLVD., S.W.
FT. MYERS, FLORIDA, 33907
813-481-2011

NOTE: LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR TO CONTACT OWNER AND UTILITY COMPANIES FOR EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING CONSTRUCTION.

APPROVED JUL 30 2002
Master Concept Plan

Site Plan - SRMDP Page 148 of 148

Subject to conditions in Resolution 2-13-2002

Case # ADD 2002-0009B

REVISED: JUNE 20, 1988

DRAWN BY
DOT

CHECKED BY
JWE

APPROVED BY

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO 19359

JOSEPH WALTER ENGINEERS

NO. 19359
STATE OF FLORIDA
REGISTERED ENGINEER

REVISED: MAY 20, 1985

REVISED: JULY 5, 1985

REVISED: JULY 8, 1985

**PAVING, GRADING, DRAINAGE
AND UTILITY PLAN**

**EMPLOYEE HOUSING/HUMAN RESOURCES - IX
EMPLOYEE HOUSING /PHASE FOUR - X**

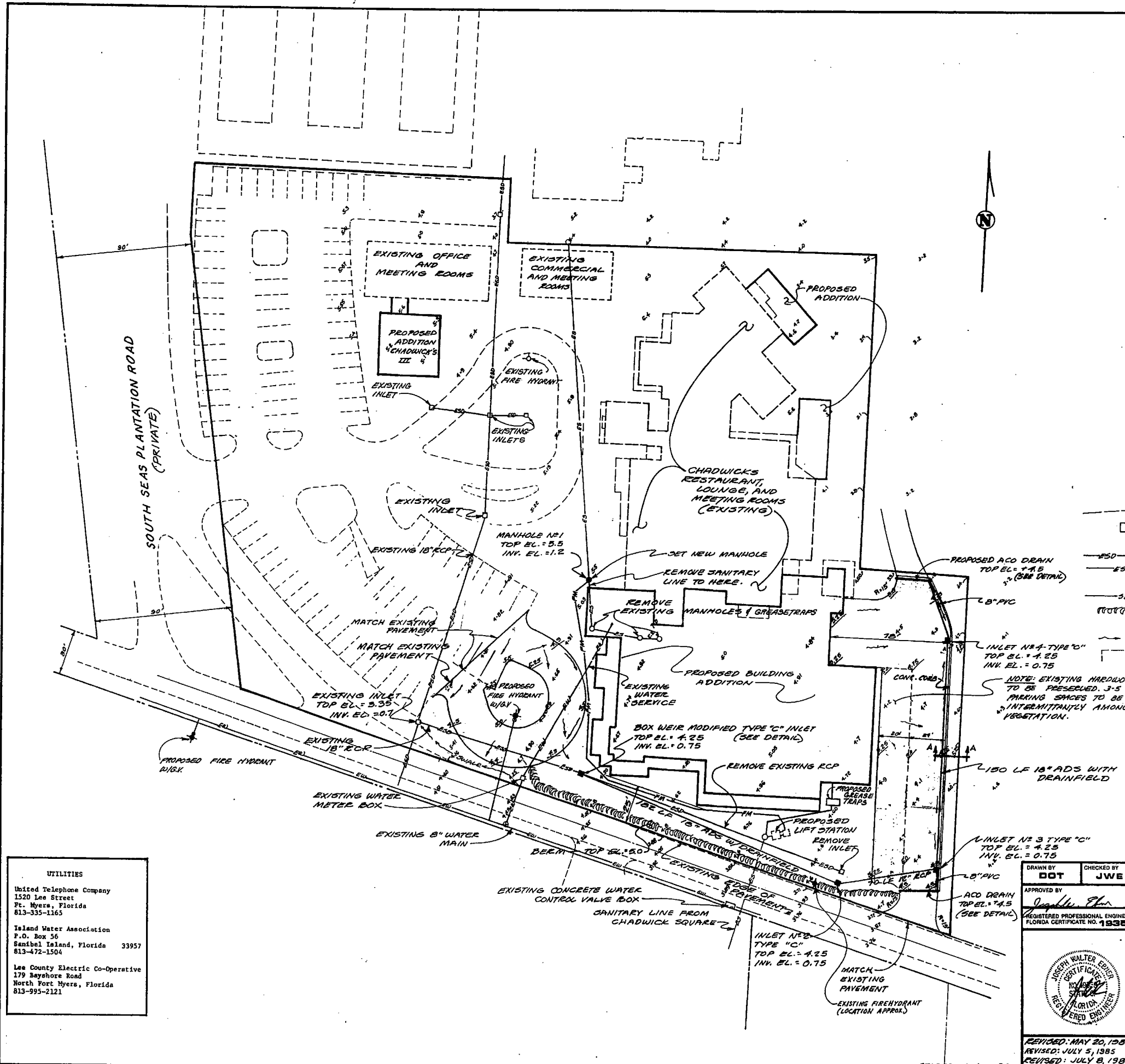
SEC. 26, T. 45 S., R. 21 E.

**CAPTIVA ISLAND
LEE COUNTY, FLORIDA**

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS - LAND SURVEYORS
2108 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0046

DATE **APRIL 1988** PROJECT NO. **13906** FILE NO. **26-45-21** SCALE **1" = 40'** SHEET **9** OF **16**



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EXISTING GRADE
PROPOSED GRADE
EXISTING PAVEMENT
PROPOSED PAVEMENT
EXISTING STORM INLET
EXISTING STORM PIPE
EXISTING SANITARY SEWER
EXISTING MANHOLE
PROPOSED STORM PIPE
PROPOSED BERM
PROPOSED STORM INLET
DIRECTION OF SURFACE FLOW
EXISTING BUILDING OUTLINE

Site Plan • SSRMDP Page 15 of
Subject to conditions in Resolution J-73-202
Case • ADD 2002-00098

SOUTH SEAS PLANTATION COMPANY
13987 M²GREGOR BLVD. S.W.
FORT MYERS, FLORIDA 33907
813-481-2011

NOTE:
LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE,
CONTRACTOR TO CONTACT OWNER AND UTILITY
COMPANIES FOR EXISTING UTILITY LOCATIONS
PRIOR TO COMMENCING CONSTRUCTION.

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

DRAWN BY DOT	CHECKED BY JWE
APPROVED BY <i>Joseph E. Egan</i>	
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 1935	



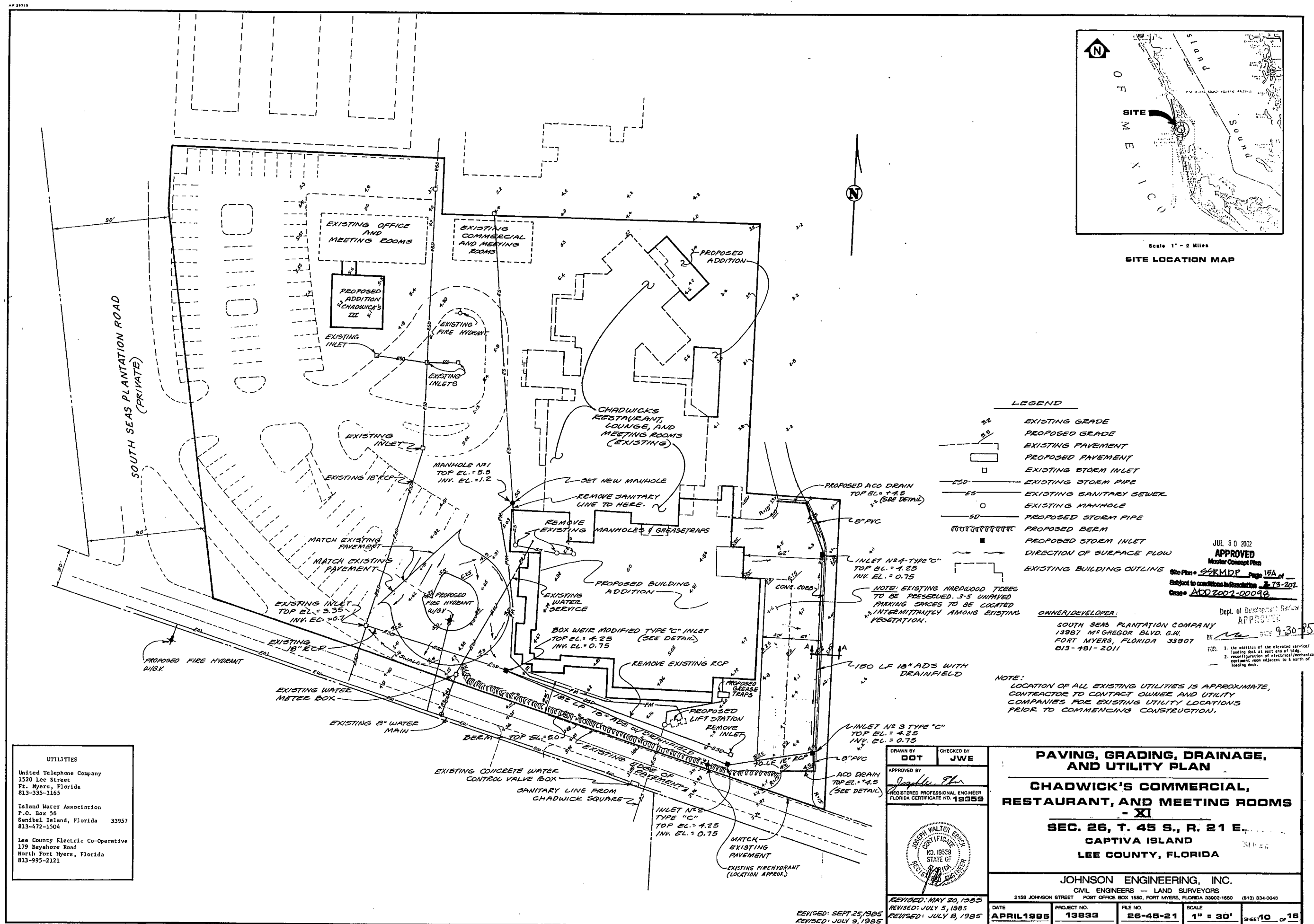
REVISED: MAY 20, 1985
REVISED: JULY 5, 1985
REVISED: JULY 8, 1986

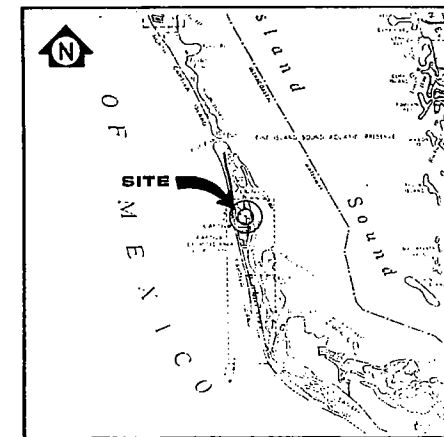
SEC. 26, T. 45 S., R. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

CIVIL ENGINEERS — LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1660, FORT MYERS, FLORIDA 33902-1660 (813) 334-0040

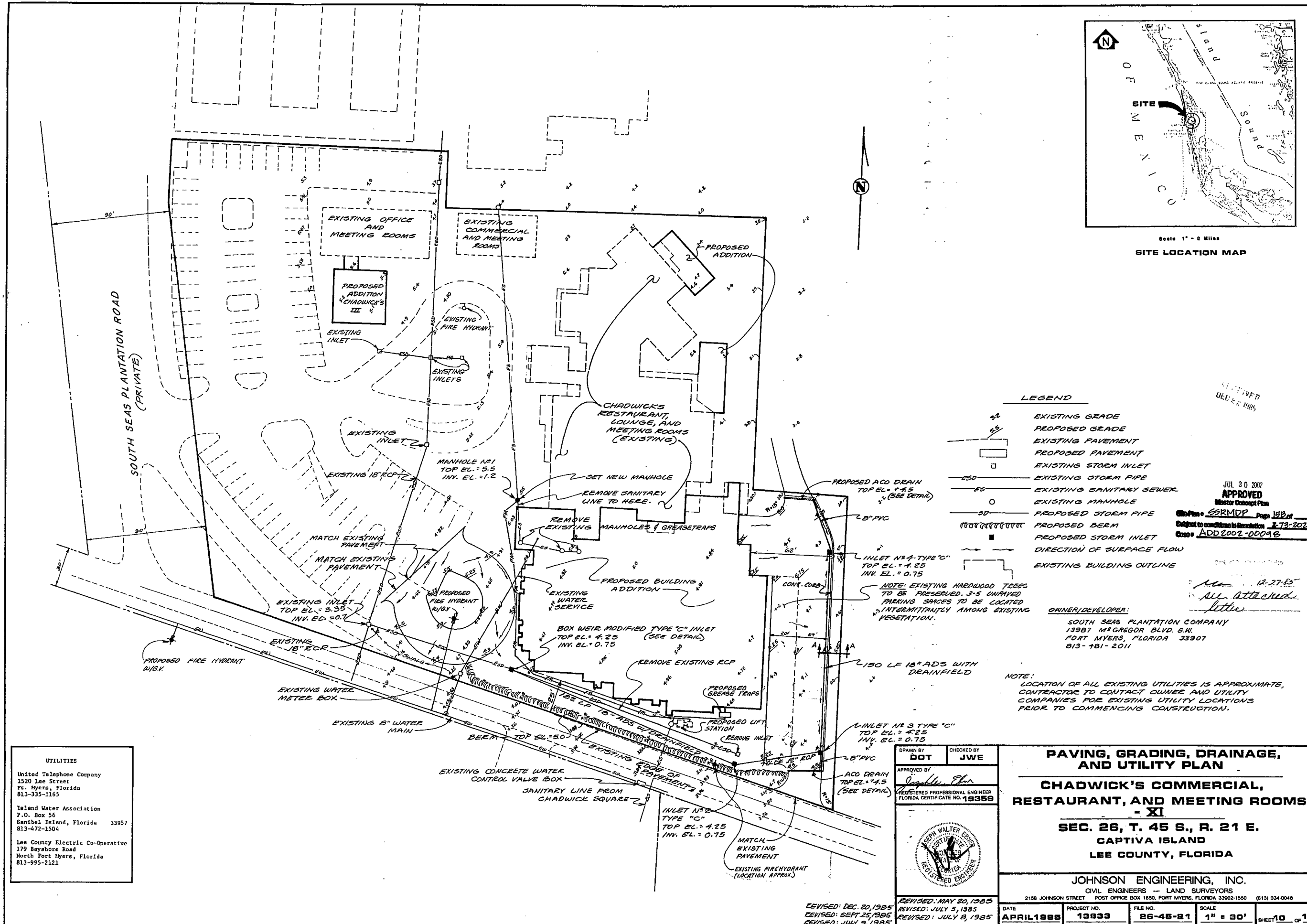
DATE APRIL 1985	PROJECT NO. 13833	FILE NO. 26-45-21	SCALE 1" = 30'	SHEET 10 OF 1
---------------------------	-----------------------------	-----------------------------	--------------------------	-----------------------------

COM. RESTAURANT
CONF. CENTER
13833





Scale 1" = 2 Miles
SITE LOCATION MAP



UTILITIES	
United Telephone Company 1520 Lee Street Ft. Myers, Florida 813-335-1165	
Island Water Association P.O. Box 56 Sanibel Island, Florida 33957 813-472-1504	
Lee County Electric Co-Operative 179 Bayshore Road North Fort Myers, Florida 813-995-2121	

LEGEND	
	EXISTING GRADE
	PROPOSED GRADE
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	EXISTING STORM INLET
	EXISTING STORM PIPE
	EXISTING SANITARY SEWER
	EXISTING MANHOLE
	PROPOSED STORM PIPE
	PROPOSED BERM
	PROPOSED STORM INLET
	DIRECTION OF SURFACE FLOW
	EXISTING BUILDING OUTLINE

RECEIVED
JUL 30 2002
APPROVED
Master Concept Plan
Plan No. 68RMDP Page 158 of 160
Subject to conditions in Resolution 2-73-202
Case # ADD2002-00098

OWNER/DEVELOPER:
SOUTH SEAS PLANTATION COMPANY
13987 M² GREGOR BLVD. S.W.
FORT MYERS, FLORIDA 33907
813-181-2011

NOTE:
LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE,
CONTRACTOR TO CONTACT OWNER AND UTILITY
COMPANIES FOR EXISTING UTILITY LOCATIONS
PRIOR TO COMMENCING CONSTRUCTION.

DRAWN BY DOT	CHECKED BY JWE
APPROVED BY 	
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 19359	

**PAVING, GRADING, DRAINAGE,
AND UTILITY PLAN**
**CHADWICK'S COMMERCIAL,
RESTAURANT, AND MEETING ROOMS**
- XI -
SEC. 26, T. 45 S., R. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.

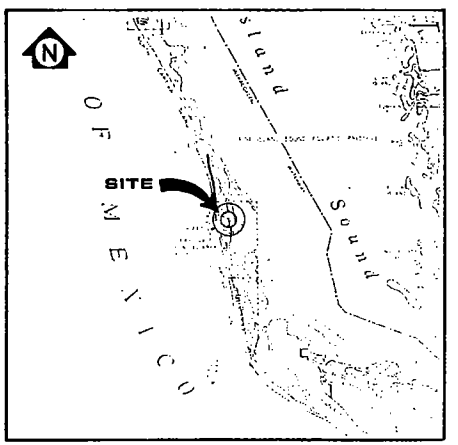
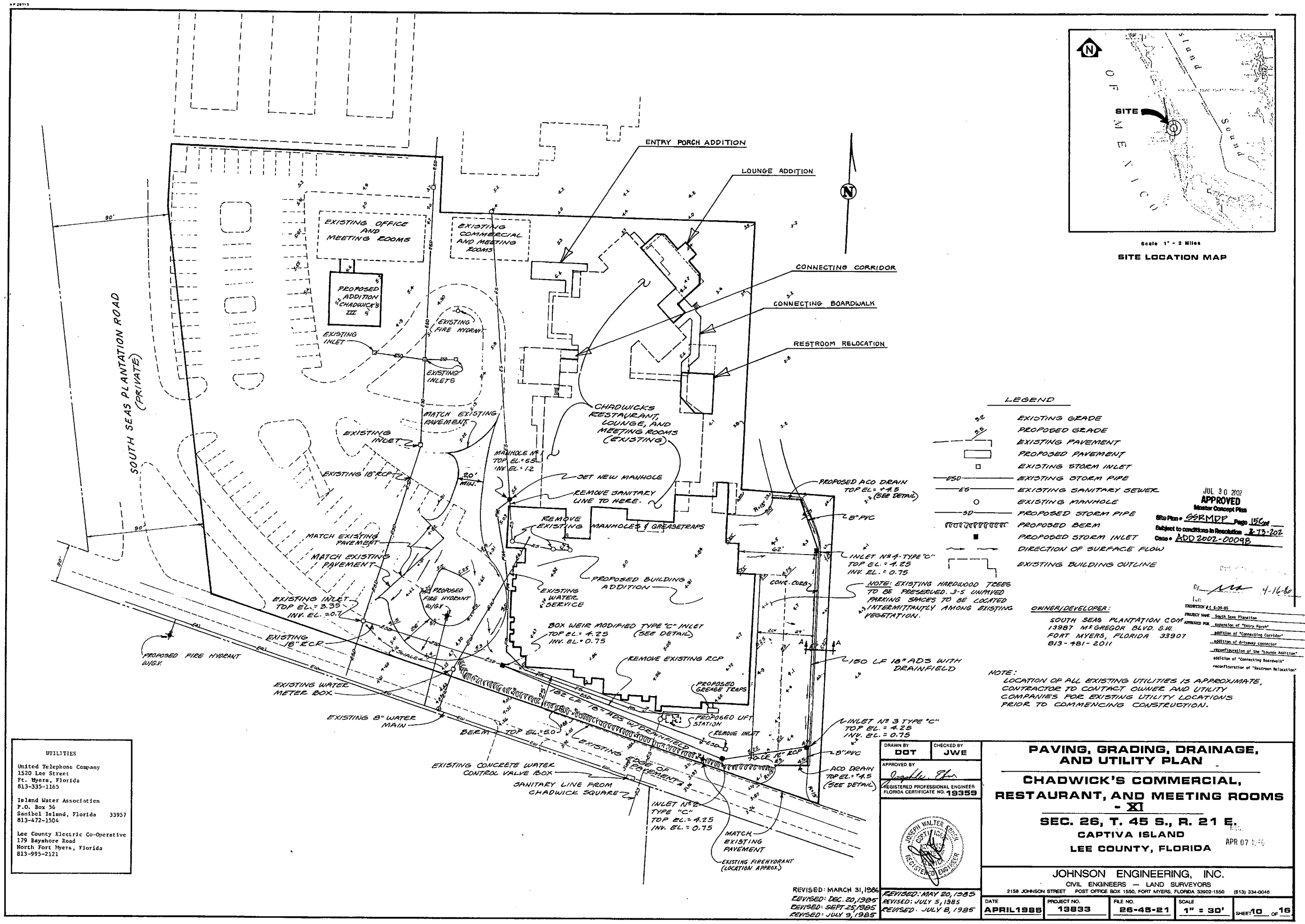
CIVIL ENGINEERS - LAND SURVEYORS
2198 JOHNSON STREET POST OFFICE BOX 1650, FORT MYERS, FLORIDA 33902-1650 (813) 334-0046

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
APRIL 1985	13833	26-45-21	1" = 30'	10 OF 16

REVISED: DEC. 20, 1985
REVISED: SEPT. 25, 1985
REVISED: JULY 9, 1985
REVISED: MAY 20, 1985
REVISED: JULY 5, 1985
REVISED: JULY 8, 1985

CUM. RESTAURANT
CONF. CENTER
13833

AP 28713



Scale 1" = 2 Miles
SITE LOCATION MAP

- LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - EXISTING PAVEMENT
 - PROPOSED PAVEMENT
 - EXISTING STORM INLET
 - EXISTING STORM PIPE
 - EXISTING SANITARY SEWER
 - EXISTING MANHOLE
 - PROPOSED STORM PIPE
 - PROPOSED BEEM
 - PROPOSED STORM INLET
 - DIRECTION OF SURFACE FLOW
 - EXISTING BUILDING OUTLINE

JUL 30 2002
APPROVED
Master Concept Plan
Site Plan - 66RMDP Page 156
Subject to conditions in Resolution E-13-202
Case # ADD 2002-00098
4-16-00

OWNER/DEVELOPER:
SOUTH SEAS PLANTATION CO.
13987 MCGREGOR BLVD. S.W.
FORT MYERS, FLORIDA 33907
813-481-2011

NOTE:
LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE.
CONTRACTOR TO CONTACT OWNER AND UTILITY
COMPANIES FOR EXISTING UTILITY LOCATIONS
PRIOR TO COMMENCING CONSTRUCTION.

UTILITIES

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Island Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

DRAWN BY
DOT

CHECKED BY
JWE

APPROVED BY
Joseph E. Egan

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19359

**PAVING, GRADING, DRAINAGE,
AND UTILITY PLAN**

**CHADWICK'S COMMERCIAL,
RESTAURANT, AND MEETING ROOMS - XI**

**SEC. 26, T. 45 S., R. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA**

APR 07 1985

REVISED: MARCH 31, 1986
REVISED: DEC. 20, 1985
REVISED: SEPT. 25, 1985
REVISED: JULY 9, 1985

REVISED: MAY 20, 1985
REVISED: JULY 5, 1985
REVISED: JULY 8, 1985

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
2158 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0048

DATE
APRIL 1985

PROJECT NO.
13833

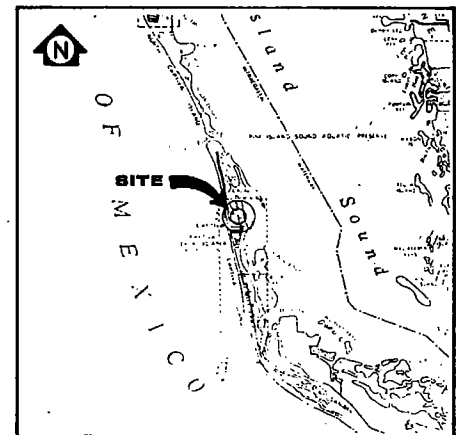
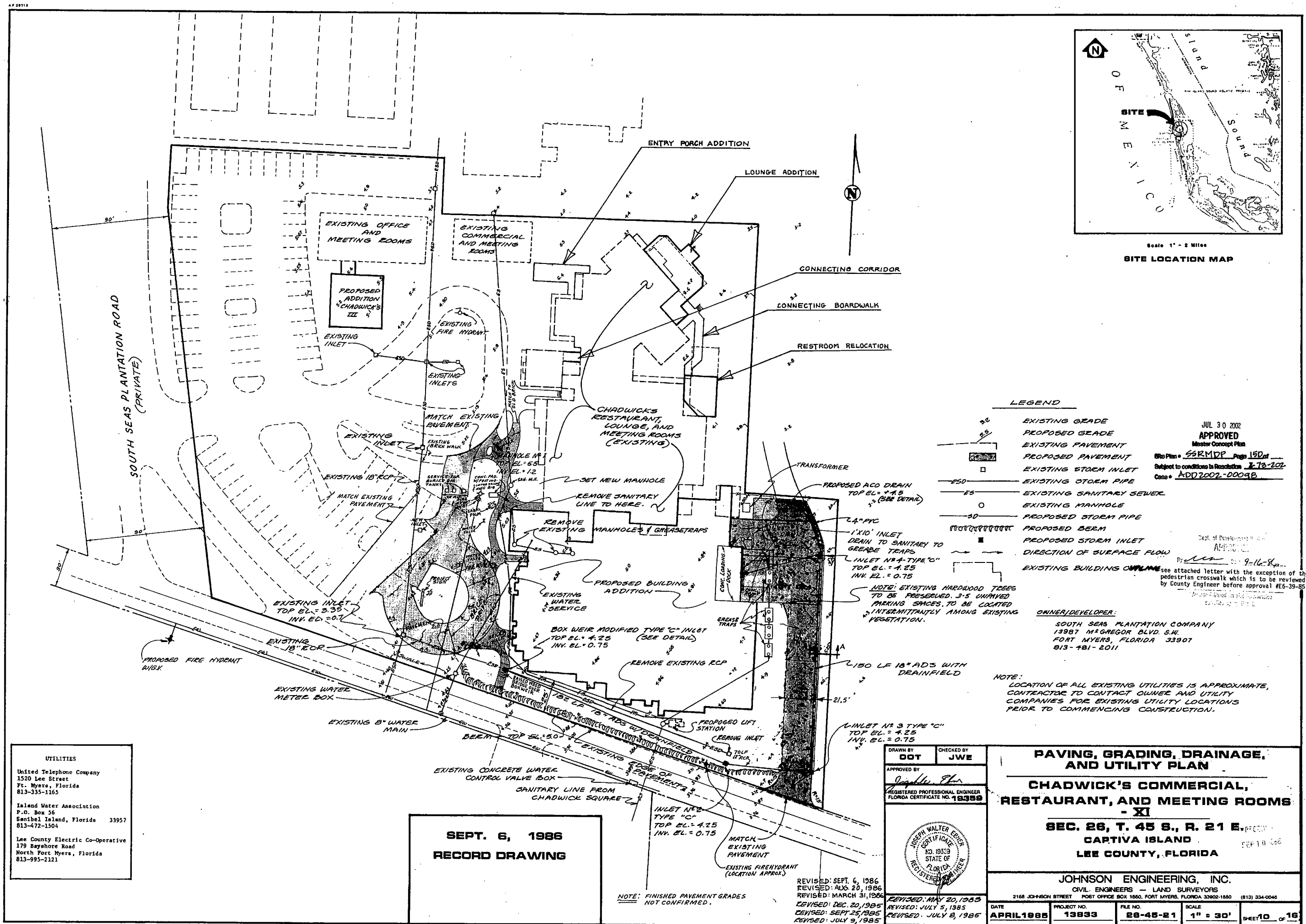
FILE NO.
26-45-21

SCALE
1" = 30'

SHEET 10 OF 16

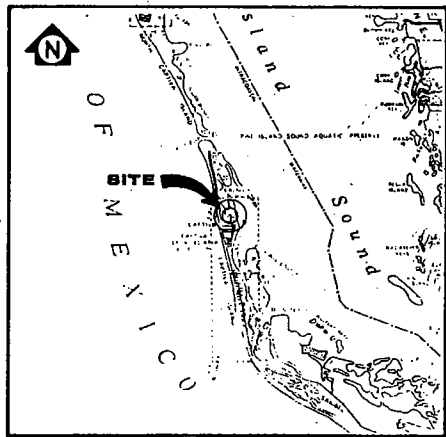
COM. RESTAURANT
CONF. CENTER

13833



Scale 1" = 2 Miles
SITE LOCATION MAP

COM. KESTRAURANT



Scale 1" = 2 Miles

BITE LOCATION MAP

JUL 30 2002
APPROVED
Master Concept Plan

Site Plan - SSRMDP Page 15E of
Subject to conditions in Resolution 2-73-202
Case - ADD 2002-00098

Dept. of Development Review
APPROVED

By RJA Date 6-15-88
For per attached letter
#C6-39-85
*Approval based on site information
supplied by applicant.

OWNER/DEVELOPER:

SOUTH SEAS PLANTATION COMPANY
13987 M^S GREGOR BLVD. S.W.
FORT MYERS, FLORIDA 33907
813-481-2011

NOTE:
LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE,
CONTRACTOR TO CONTACT OWNER AND UTILITY
COMPANIES FOR EXISTING UTILITY LOCATIONS
PRIOR TO COMMENCING CONSTRUCTION.

UTILITIES

United Telephone Company
1520 Lee Street
Ft. Myers, Florida
813-335-1165

Inland Water Association
P.O. Box 56
Sanibel Island, Florida 33957
813-472-1504

Lee County Electric Co-Operative
179 Bayshore Road
North Fort Myers, Florida
813-995-2121

SEPT. 6, 1986
RECORD DRAWING

DRAWN BY DOT	CHECKED BY JWE
APPROVED BY <i>Joseph E. Egan</i>	
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 18355	

**PAVING, GRADING, DRAINAGE,
AND UTILITY PLAN**

**CHADWICK'S COMMERCIAL,
RESTAURANT, AND MEETING ROOMS
- XI**

**SEC. 26, T. 45 S., R. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA**

JOHNSON ENGINEERING, INC.

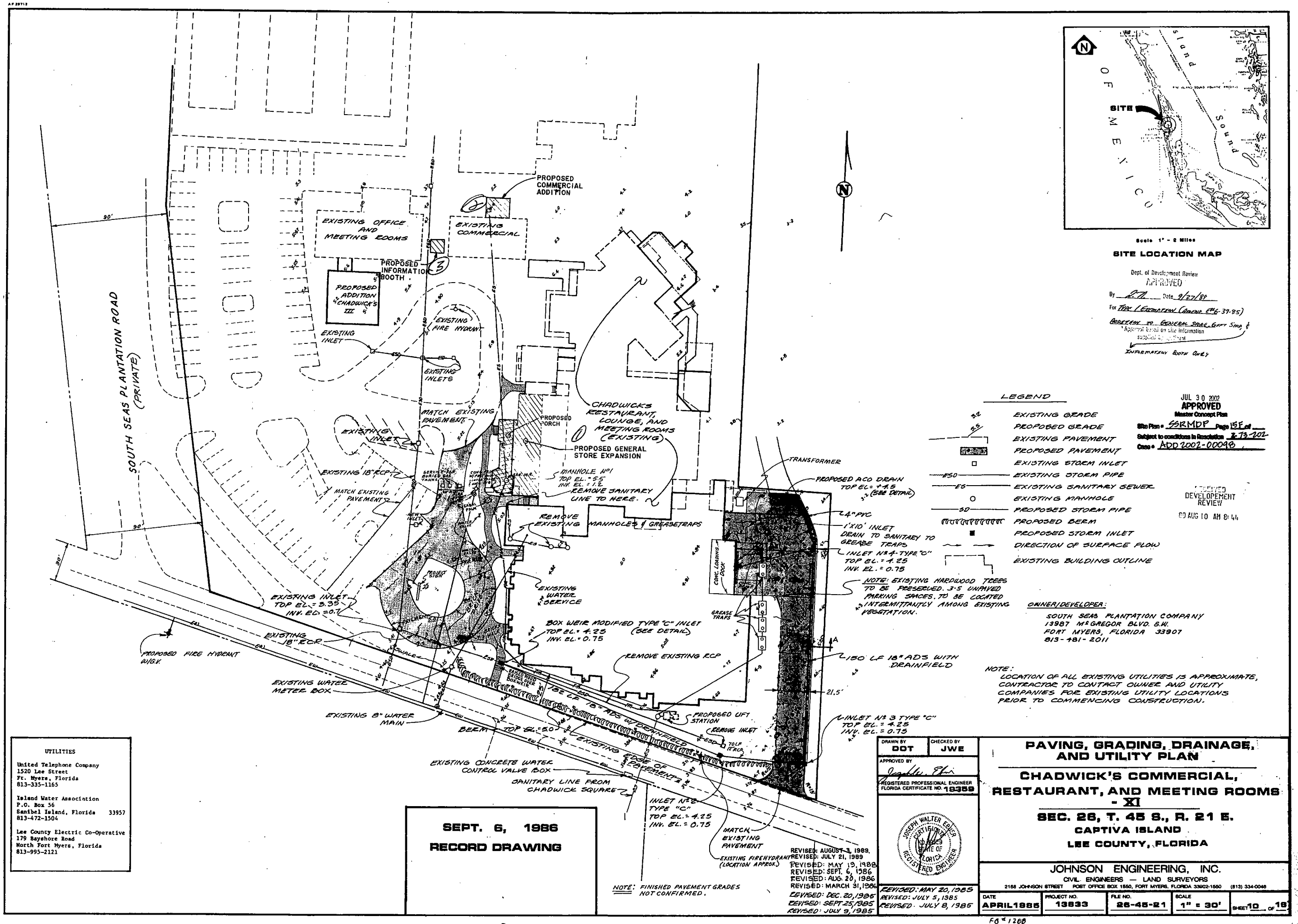
CIVIL ENGINEERS — LAND SURVEYORS
2156 JOHNSON STREET POST OFFICE BOX 1560, FORT MYERS, FLORIDA 33902-1560 (813) 334-0046

DATE APRIL 1985	PROJECT NO. 13833	FILE NO. 26-45-21	SCALE 1" = 30'	SHEET 10 OF 16
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FB # 1200

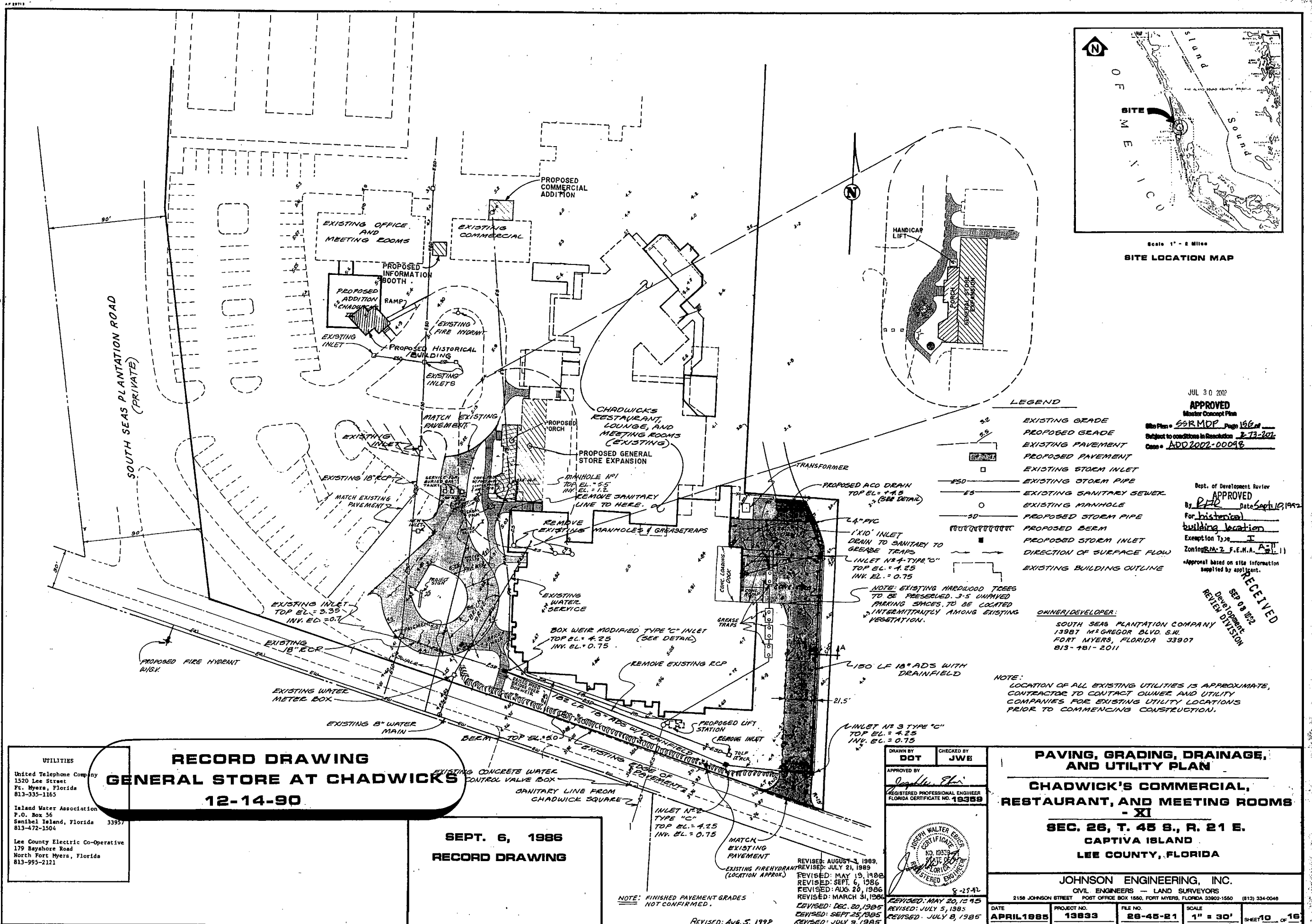
COM. RESTAURANT
CONF. CENTER

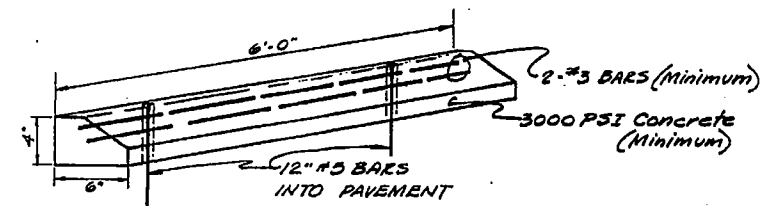
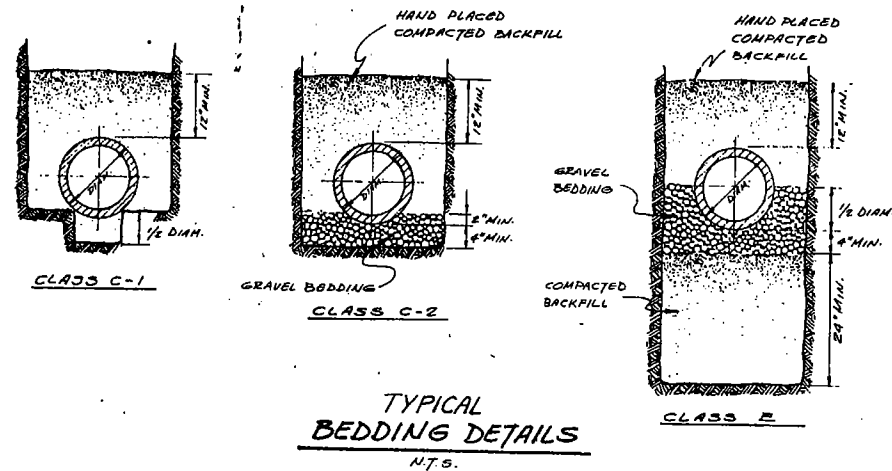
13833



CHADWICK'S RESTAURANT
CONF. CENTER

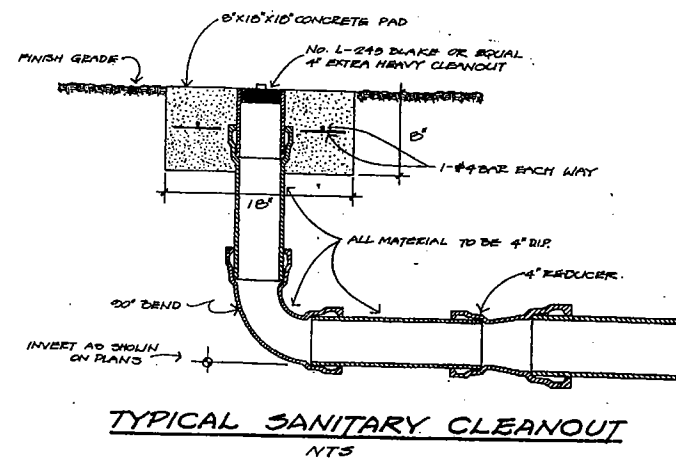
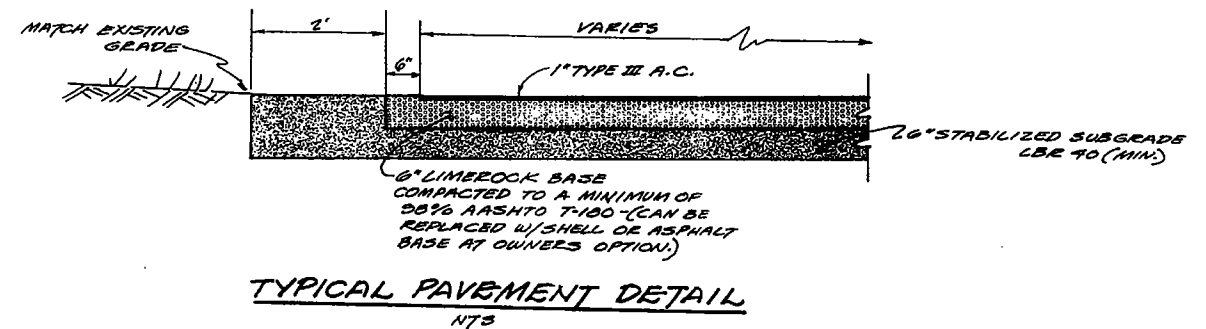
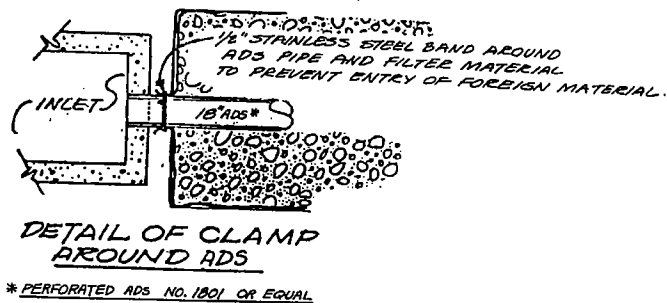
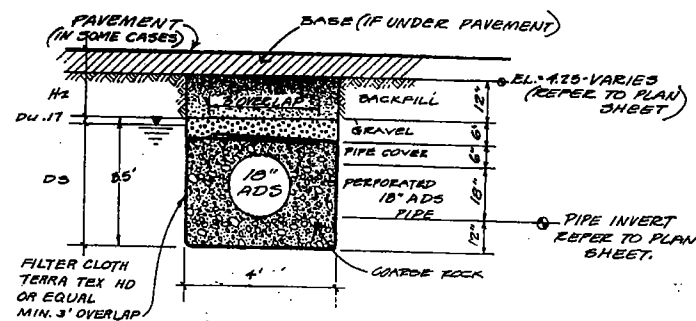
13833



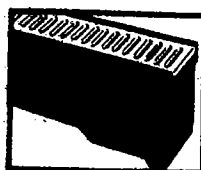


CONTRACTOR NOTE:

WHERE PLAN INDICATES ADS PIPE IT INCLUDES TYPICAL EXFILTRATION TRENCH AS DETAILED BELOW:



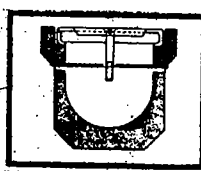
NW100 Series Channel Slope Gratings



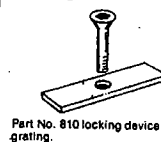
Gratings are designed to be bicycle and wheelchair proof. This design lets in a large volume of water and keeps objects, such as stones and debris, out. Polyester concrete channels are cast to a high degree of accuracy, so gratings fit the channels without rocking or rattling.

Steel Gratings

Rating	Automobile and Light Truck
Intake Cross Section	46.5 sq. in.
Wall Thickness	.083 in. (uncoated)
Full Length	39.25 in. long (1000 mm)
Half Length	19.62 in. long (500 mm)
Coating	weight 7 lbs. (3.2 kg)
	weight 3.5 lbs. (1.6 kg)
	Galvanized



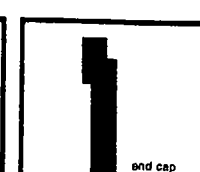
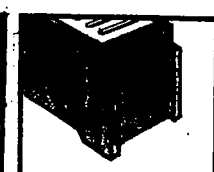
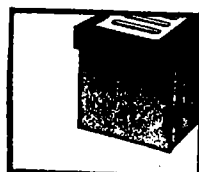
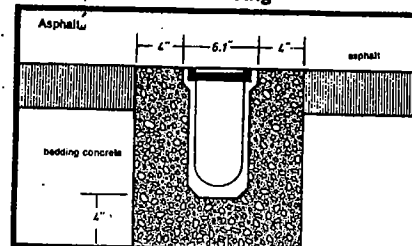
Locking Devices for Gratings



Part No. 810 locking device for steel grating.

Locking devices are available to secure both cast iron and steel gratings to the channels. These unique locking devices are easy to assemble on the job site. Simply tap out the preformed knock-out panels on the sides of each channel and replace the channels in the ground. Insert the bar through the sides of the channel, insert the bolt through the grate, and engage the threaded hole in the bar.

Details of concrete bedding



ACO DRAIN DETAILS

JUL 30 2002

APPROVED

Master Concept Plan

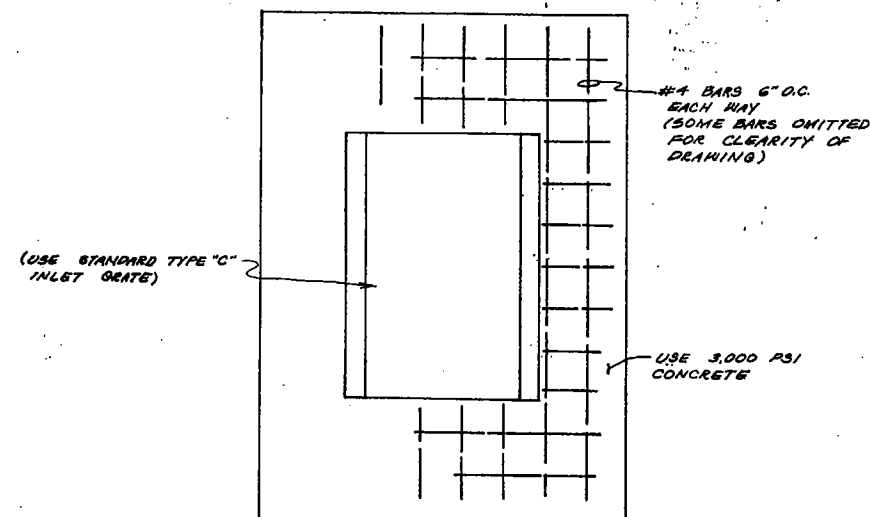
Site Plan - SRMDP Page 16 of 16
Subject to conditions in Resolution 173-2002
Case # ADD2002-00098

OWNER/DEVELOPER:

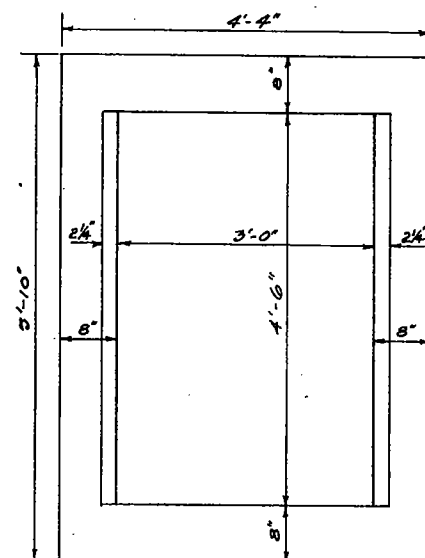
SOUTH SEAS PLANTATION COMPANY
13507 Mth GREGG BLVD., S.W.
FT. MYERS, FLORIDA 33907
813-481-2011

DRAWN BY DT	CHECKED BY JWE
APPROVED BY <i>[Signature]</i>	
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 18359	
REVISED: MAY 20, 1985	

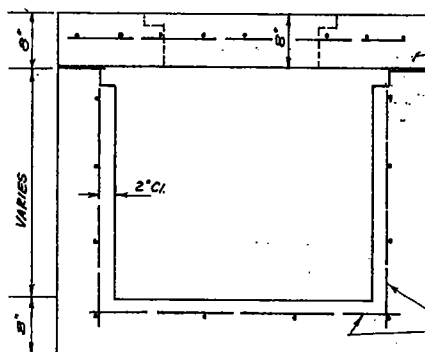
DETAILS			
SOUTH SEAS PLANTATION			
SEC. 15, 22, & 28, T. 45 S., R. 21 E.			
CAPTIVA ISLAND LEE COUNTY, FLORIDA			
JOHNSON ENGINEERING, INC. CIVIL ENGINEERS - LAND SURVEYORS 2158 JOHNSON STREET POST OFFICE BOX 1850, FORT MYERS, FLORIDA 33902-1850 (813) 334-0548			
DATE APRIL 1985	PROJECT NO. 13888	FILE NO. 15-45-21	SCALE AS SHOWN
			SHEET 11 OF 16



CONCRETE TOP



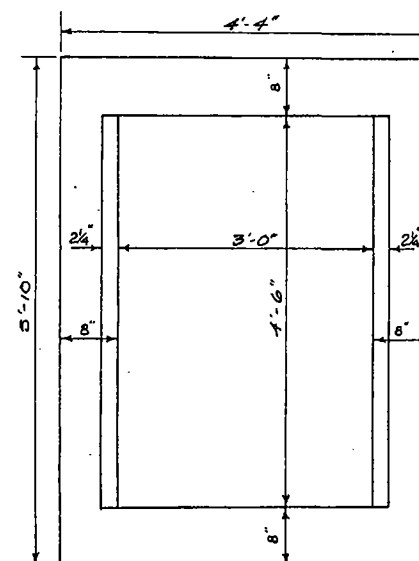
PLAN



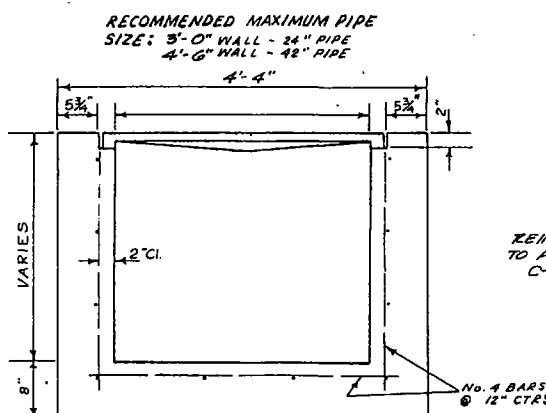
SECTION

CONCRETE INLET
MODIFIED TYPE "E"

FDOT INDEX No. 232 - MODIFIED
RECOMMENDED MAXIMUM PIPE SIZE:
3'-0" WALL - 24" PIPE
4'-6" WALL - 42" PIPE



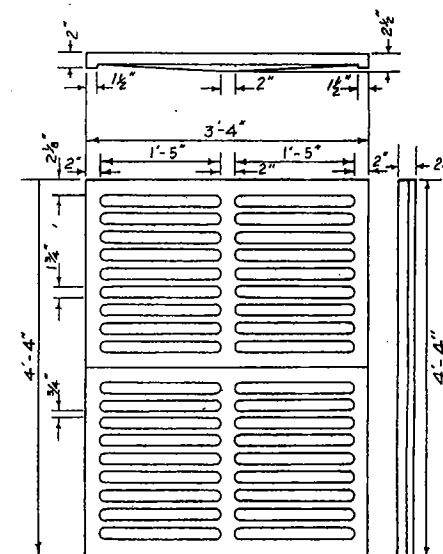
PLAN



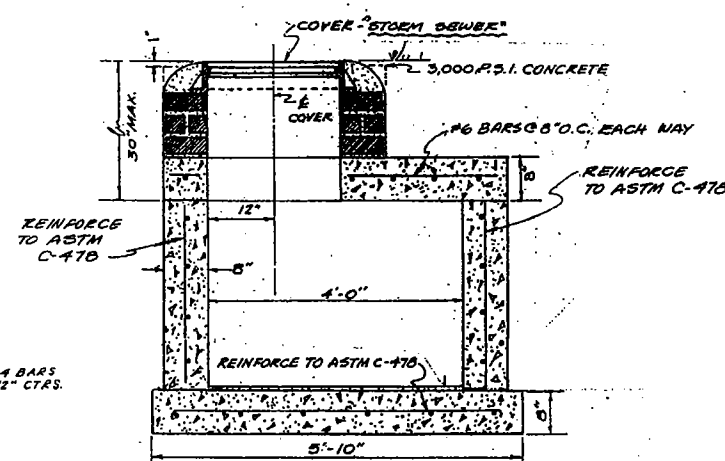
SECTION

CONCRETE INLET
TYPE "E"

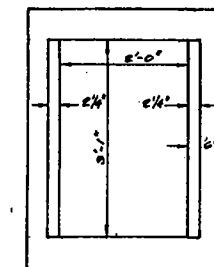
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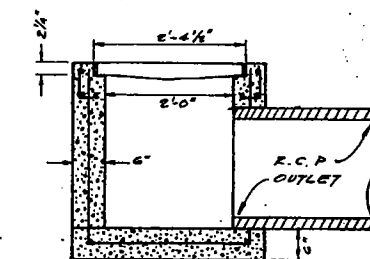
CAST IRON GRATE
APPROX. WEIGHT 465 LBS



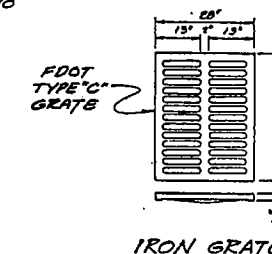
TYPICAL
STORM MANHOLE
NTS



PLAN VIEW



CONCRETE INLET
TYPE "C"
TYPICAL SECTION
SCALE: 1/4" = 1'
(USE WITH 18" OR SMALLER)
FDOT INDEX No. 232



IRON GRATE

JUL 30 2002

APPROVED
Master Concept Plan

Site Plan - SSRMDP Page 17 of
Subject to conditions in Resolution 27-202
Case - ADD2002-00098

DRAWN BY DOT	CHECKED BY JWE
APPROVED BY <i>Joseph E. Johnson</i>	
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE # 183558	
REVISED: MAY 20, 1985	

DRAINAGE DETAILS

SOUTH SEAS PLANTATION

SEC. 15, 22, & 26, T. 48, R. 21

CAPTIVA ISLAND

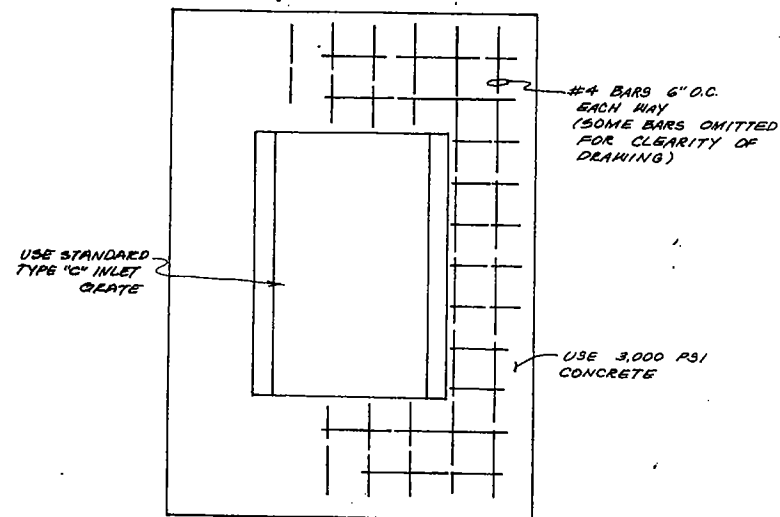
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.

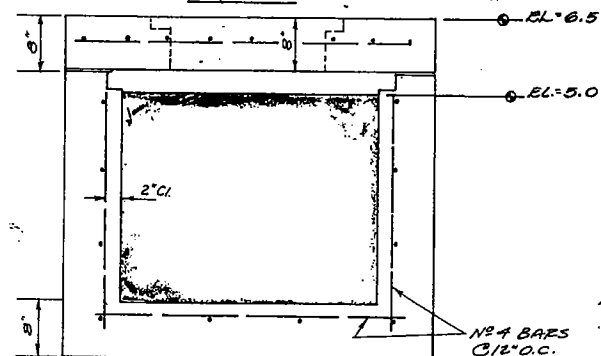
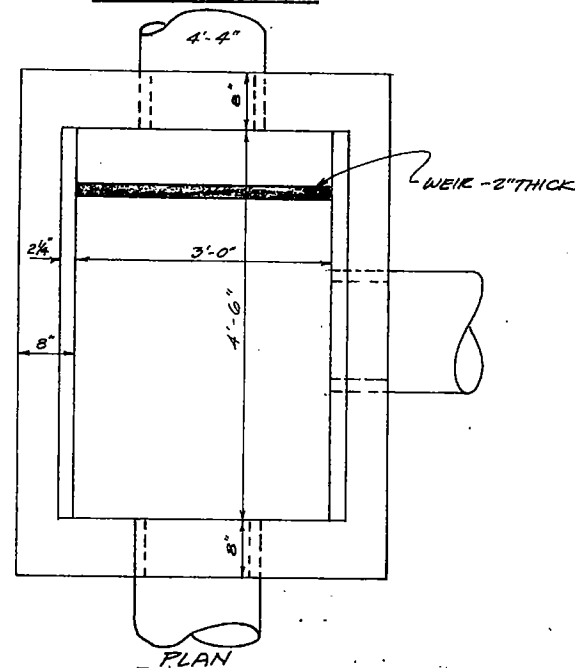
CIVIL ENGINEERS - LAND SURVEYORS

POST OFFICE BOX 1860, FORT MYERS, FLORIDA 33902 (813) 334-0048

DATE APRIL 1985	PROJECT NO. 1385	FILE NO. 15-45-21	SCALE SHOWN	SHEET 12 OF 16
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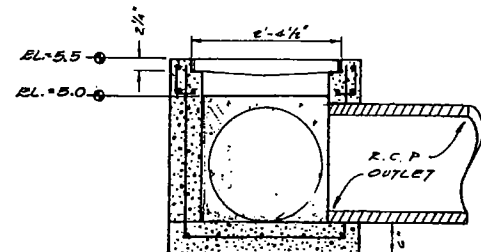
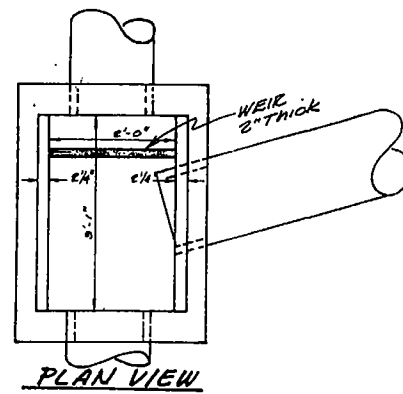
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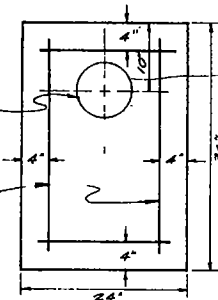
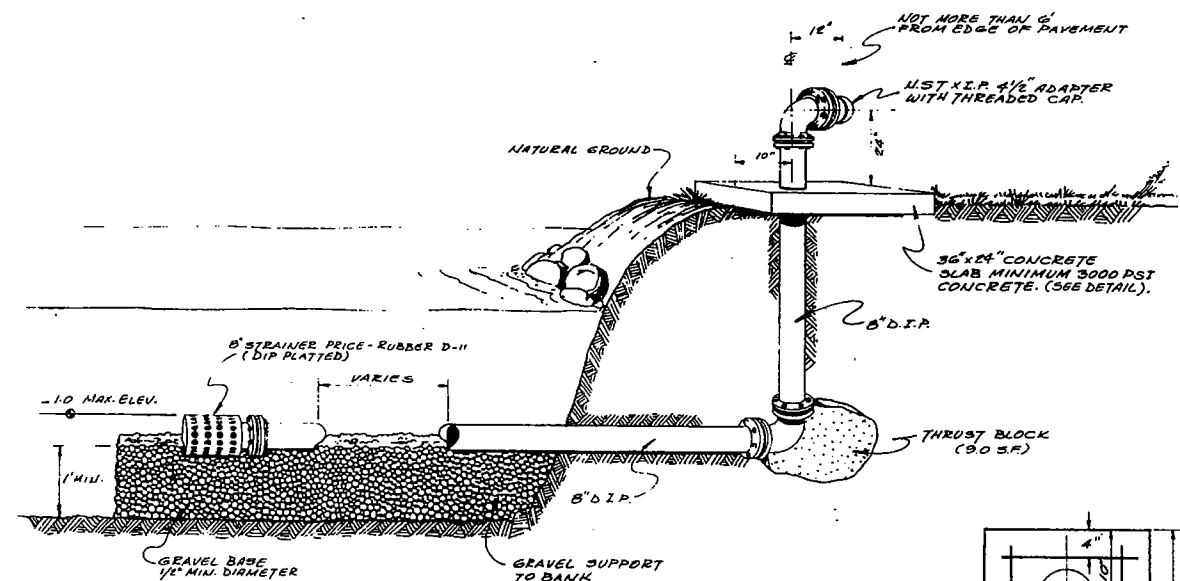
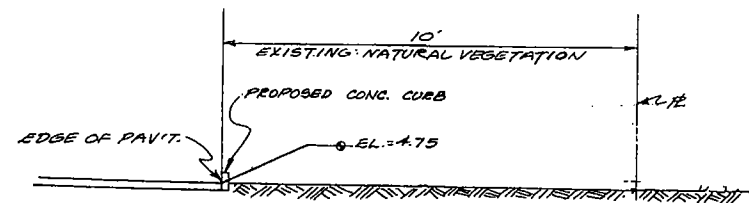
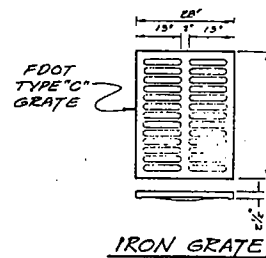
CONCRETE INLET
MODIFIED TYPE "E"
WITH WEIR

NTS
USING TYPE "C" TOP & GRATE

FOOT INDEX 832-MODIFIED



CONCRETE TYPE "C" INLET
WITH WEIR
MODIFIED INLET N-4-SHEET 0



JUL 30 1985
APPROVED
Master Concept Plan

Site Plan - SGRMDP Page 18 of 18
Subject to conditions in Resolution 2-13-202
Date - ADD 2002-00098

DRAWN BY DOT	CHECKED BY JWE
APPROVED BY <i>Joseph Walter Enger</i> REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 19389	
REVISED: MAY 20, 1985 REVISED: JULY 3, 1985	

DETAILS

SOUTH SEAS PLANTATION

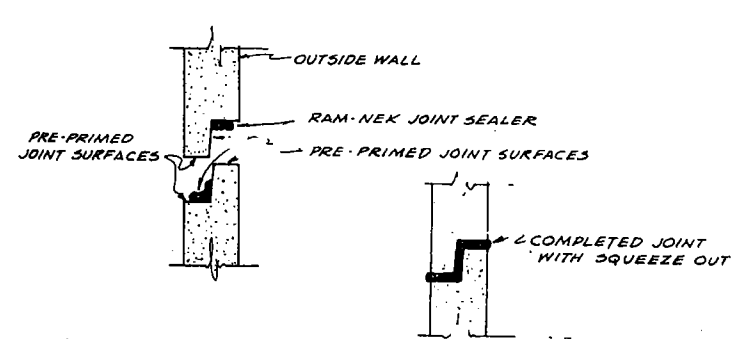
SEC. 15, 22, & 26, T. 45 S., R. 21 E.

CAPTIVA ISLAND,
LEE COUNTY, FLORIDA

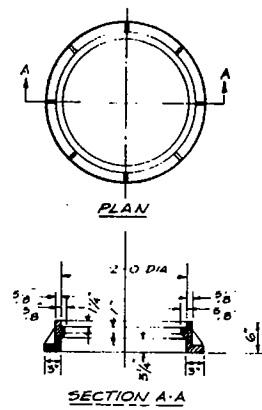
JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS

2158 JOHNSON STREET POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902-1550 (813) 334-0045

DATE APRIL 1985	PROJECT NO. 13888	FILE NO. 15-45-26	SCALE AS SHOWN	SHEET 13 OF 16
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TYPICAL JOINT DETAIL
(STANDARD PRE-CAST MANHOLE)
NTS



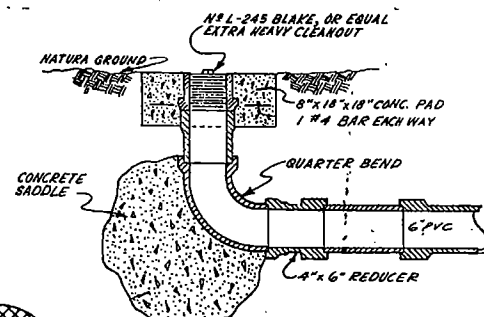
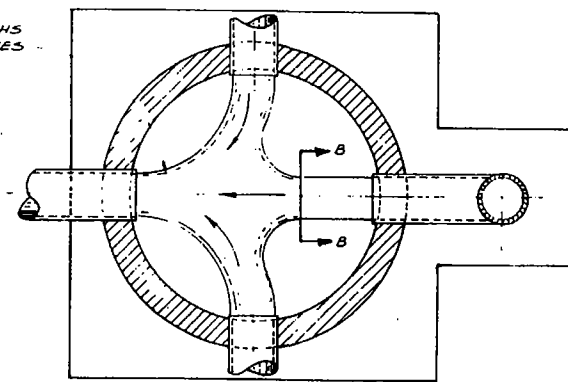
FLORIDA DOT TRAFFIC MANHOLE
(USF #33A) RING WT = 160 LBS.
COVER WT = 145 LBS.

FRAME AND COVER DETAIL
NTS

NOTES

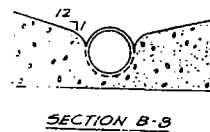
1. MANHOLE TOPS TO BE SET FLUSH IN PAVED AREAS AND 1" ABOVE GRADE IN UNPAVED AREAS UNLESS OTHERWISE SHOWN. TOP ELEVATIONS SHOWN ON PLANS ARE BASED ON FIELD ELEVATIONS BUT COULD VARY ± .3'.
2. MANHOLES TO BE CENTERED OVER THE INTERSECTION OF TWO OR MORE MANHOLES.
3. CONCRETE FOR MANHOLES SHALL OBTAIN A COMPRESSIVE STRENGTH OF 4,000 P.S.I. @ 28 DAYS.
4. TYPE II ACID RESISTANT CEMENT SHALL BE USED IN ALL MANHOLE CONSTRUCTION.
5. CONTRACTOR SHALL TAKE PRECAUTIONS TO GUARD AGAINST FLOATION AND SHALL BE RESPONSIBLE FOR ALL REPAIRS SHOULD FLOATION OCCUR.
6. THE MANHOLE SHALL BE PAINTED INSIDE AND OUTSIDE WITH TWO COATS OF KOPPER-BITUMASTIC NO. 300M OR EQUAL. THIN FIRST COAT WITH 15% KOPPER-BITUMASTIC NO. 300M OR EQUAL.
7. USE OF FLEXIBLE PIPE SLEEVES IN MANHOLE WILL BE REQUIRED IF PVC PIPE IS USED.

FORM MORTAR TROUGHS FOR EASY FLOW CURVES

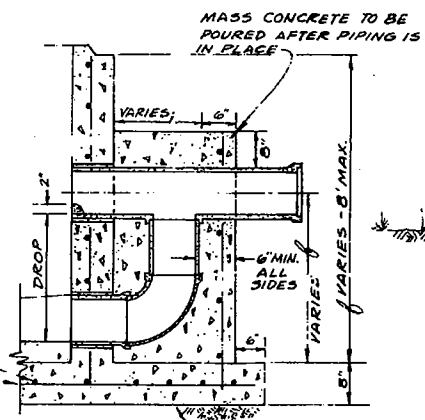


TYPICAL CLEANOUT
NTS

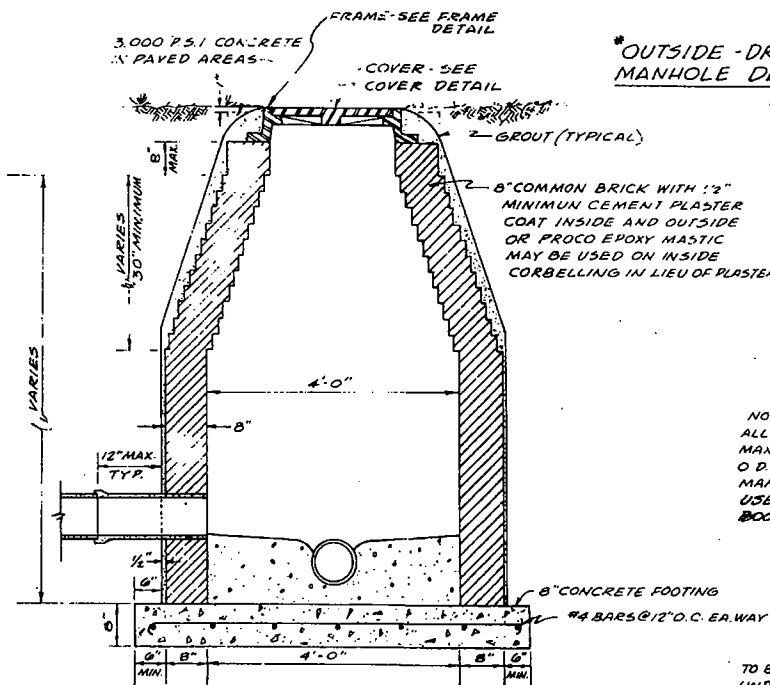
INVERT PLAN
(ALL SIZE MANHOLES)



#4 BARS @ 9" O.C. EACH WAY



*NOTE: OUTSIDE DROP TO BE USED WHERE SHOWN ON PLANS.

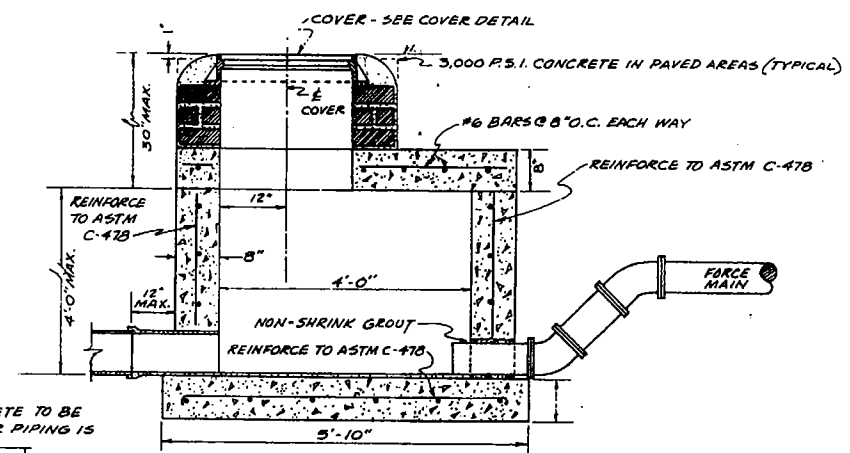


STANDARD BRICK MANHOLE

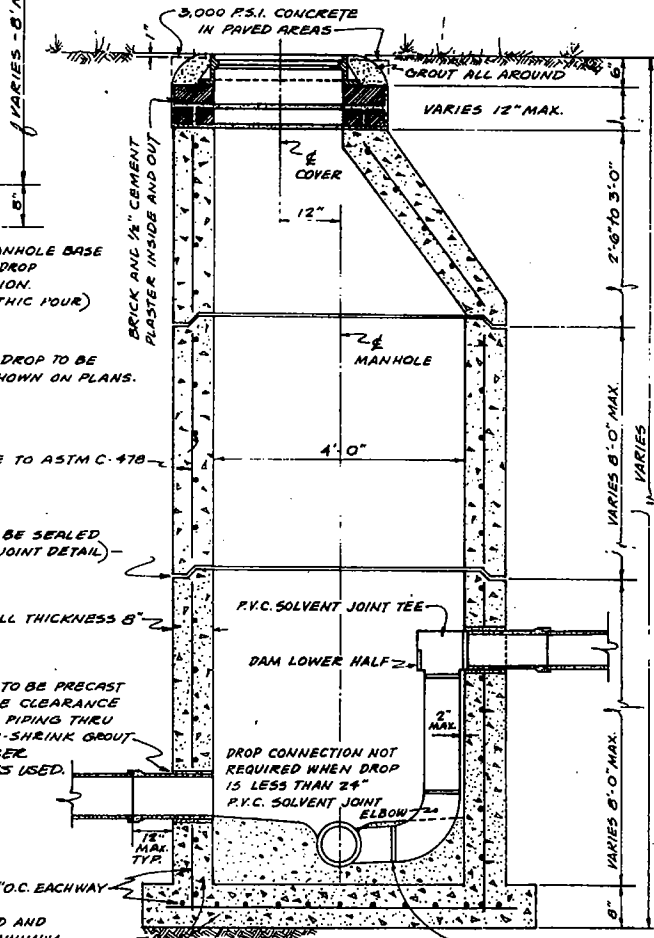
NOTE: ALL HOLES FOR PIPE TO BE PRECAST MAXIMUM ALLOWABLE CLEARANCE 0 D. + 4" (GROUT ALL PIPING THRU MANHOLE WITH NON-SHRINK GROUT. USE FLEXIBLE RUBBER BOOT IF PVC PIPE IS USED.)

TO BE SET ON LEVELED AND UNDISTURBED SOIL (MINIMUM SOIL BEARING 1000 PSF)

BASE AND FIRST RISER SECTION TO BE A MONOLITHIC POUR.



PRECAST MANHOLE - SHALLOW
WITH FORCE MAIN CONNECTION DETAIL



PRECAST MANHOLE - DEEP
(SHOWN WITH DROP CONNECTION)

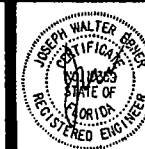
REVISED: MAY 20, 1985

JUL 30 2002
APPROVED
Master Concept Plan
Site Plan - SSRMDP Page 19 of 20
Subject to conditions in Resolution 7-13-202
Case # ADD 2002-00096

- NOTES:
1. SET 90° ELBOW AND TEE FLANGE IN CONCRETE CHANNEL TO FIT MANHOLE INVERT AND FLOW DIRECTION.
 2. DROP CONNECTION SHALL BE THE SAME SIZE AS THE SEWER.

JOHNSON ENGINEERING INC.
CIVIL ENGINEERS LAND SURVEYORS
FORT MYERS

MANHOLE DETAILS



DRAWN BY TP
CHECKED BY JWN
APPROVED BY Joseph Sauer
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 10000

SOUTH SEAS PLANTATION
SEC. 15, 22, & 26, T. 45, R. 21
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

DATE: APRIL 1988
PROJECT: 15-45-21
SCALE: SHOWN
SHEET 14 OF 18

DOUBLE CHECK FOR INJECTION WATER DETAILS

AF 248078

- I.
- All water lines must be sterilized in accordance with State Board of Health requirements. The Contractor is responsible for bacteriological testing and clearance from the Board of Health.
 - All water lines must be pressure tested in accordance with IWA specifications. A satisfactory pressure test must be observed by IWA representatives and the engineer of record.
 - All water lines must have a minimum of 30 inches cover.
 - Contractor must furnish IWA with certified Record drawings showing location of all water lines, fittings, valves, services, etc.
 - Prior to the start of any construction the contractor must schedule and attend a pre-construction meeting with the IWA and the engineer of record.
 - Contractor must notify IWA prior to making any connections to existing water lines.
 - The minimum notice for inspections, connections, main shut downs and testing is 24 hours. Many situations will require more than 24 hours notice time.
 - Fire hydrants and fire hydrant locations must comply with Sanibel or Captiva Fire District Regulations.
 - Contractor must sterilize fittings to be installed on existing water lines with a 50 ppm chlorine solution.
 - Water mains shall be laid at least 10 feet horizontally from any existing or proposed gravity sewer line of force sewer line. Where sewer and water lines cross there shall be a minimum of 18" vertical distance from the "outside" of the sewer line and the outside of the water line. If such vertical distance is less than 18" the sewer line will be 20 feet of cement lined cast iron pipe centered on the point of crossing.
 - All new water mains must be connected to the existing system as shown in detail 5. This temporary connection will be used for all flushing, testing, and sterilizing and shall not be removed until approval is granted from IWA. The contractor shall be charged for all water used at the current IWA rates. The water meter shall be provided by IWA and returned to IWA upon completion of the job.
 - The pipe shall be pressure rated PVC conforming to the requirements of ASTM D2241, PVC 1120, SDR 21 with push on joints and a minimum pressure rating of 200 PSI.
 - Pipe and fittings 3" and smaller shall be schedule 80 PVC conforming to ASTM D1785. The joints shall be solvent welded conforming to ASTM D2466 or D2467.
 - Where ductile iron pipe is specified it shall be Class 50, conforming to AWWA C151, mechanical joint or push on type conforming to AWWA C110 and C111. All ductile iron pipe shall have a factory applied bituminous seal coat over a cement mortar lining conforming to AWWA C104.
 - All fittings shall be ductile iron, mechanical joint Class 50 conforming to AWWA C151. All ductile iron fittings shall have a factory applied bituminous seal coat over a cement mortar lining conforming to AWWA C104.
 - Valves shall be manufactured by the American Valve and Hydrant Co., Birmingham, Alabama. No substitutes will be permitted:

Gate valves shall be resilient seated, manufactured to meet or exceed the requirements of AWWA C509 of latest revision and in accordance with the following specifications.

Valves shall have an unobstructed waterway equal to or greater than the full nominal diameter of the valve.

The valves are to be non-rising stem with the stem made of cast, forged or rolled bronze shown in AWWA C509. Two stem seals shall be provided and shall be of the O-ring type, one above and one below the thrust collar.

The stem nut, also made of bronze, must be independent of the gate.

The sealing mechanism shall consist of a cast iron gate having a vulcanized synthetic rubber coating. The resilient sealing mechanism shall provide zero leakage at the water working pressure when installed with the line flow in either direction.

The valve body, bonnet, and bonnet cover shall be cast iron ASTM A 126, Class B. All ferrous surfaces inside and outside shall have a fusion-bonded epoxy coating.

A 2" operating nut shall be provided for operating the valve.

All valves are to be tested in strict accordance with AWWA C509.

All bonnet nuts and bolts shall be stainless steel.
 - This job must be installed under the field inspection of an engineering firm approved by IWA. The engineering firm shall be responsible for the certification of the Record drawings referenced in Note 4.
 - This job will not be accepted by the Island Water Association, Inc. until all road construction and utility installations are complete.
 - All pipe joints, fittings, sewer crossings and thrust blocks must be left exposed for inspection by IWA prior to backfill. If any joints, fittings, sewer crossings or thrust blocks are covered without IWA inspection, the inspector may require them to be exposed for inspection.

20. The following parts shall be used for service connections:

1" Tapping Saddle

All A.C. Mains
2" thru 8" PVC Mains
10" thru 18" PVC Mains

Ford (Romac) 202N Series x IP4
Ford (Romac) 304SS x IP4
Ford (Romac) 202N Series x IP4 (steel OD's)

1 1/2" Tapping Saddle

Use 2" tapping saddle and reduce to 1 1/2" just after the corporation stop.

2" Tapping Saddle

All A.C. Mains
2" thru 8" PVC Mains
10" thru 18" PVC Mains

Ford (Romac) 202N Series x IP7
Ford (Romac) 304SS x IP7
Ford (Romac) 202N Series x IP7 (steel OD's)

3" Tapping Sleeve

Use 4" tapping sleeve and reduce to 3" just after the tapping valve.

4" and Larger Tapping Sleeve

All A.C. and PVC Mains
1" Corporation Stop
2" Corporation Stop
1" Curb Stop
1" x 3/4" Curb Stop
1 1/2" Curb Stop
2" Curb Stop

Ford SST (Romac) series Tapping Sleeves
Ford FB 500-IP
Jones J-1955 Ball Valve, T-Head
1" x 1" Ford B13-444W, or
1" x 1" Jones J-1900W
1" x 3/4" Ford B13-342W
Ford BF13-665, or
Jones J 1912, Tee Head
Ford B11-777

II. Contractor to furnish meter box with cover (must meet IWA Standards).

III. Contractor to confirm location of all existing utilities before commencing excavation.

IWA PRESSURE AND LEAKAGE TEST SPECIFICATIONS

Tests

The Contractor shall provide the necessary material, equipment and labor necessary to perform a pressure test and a leakage test on all water lines. All testing for defects and for leakage under pressure and disinfection, shall be performed in the presence of IWA unless otherwise instructed by the Owner, and shall be subject to his approval before acceptance.

Flushing

Prior to any testing the line must be thoroughly flushed at a rate of flow sufficient to produce a minimum velocity of 2.5 feet per second. The water shall be completely clear and shall contain no visible matter after flushing is complete.

Pressure Test

1. After the pipe has been laid and flushed, it shall be subjected to a hydrostatic pressure test of 150 PSI. The pressure test shall be made before the joints have been backfilled unless the backfill has been authorized by the engineer. All saddles, hydrants, fittings, taps, etc. are to be completely installed prior to any testing.

2. Tests shall be made only after a minimum of 36 hours have elapsed after the last concrete thrust or reaction backing has been cast with high early strength concrete or at least 7 days after the last concrete thrust or reaction backing has been cast, using standard concrete.

3. The duration of the test shall be one hour unless otherwise directed by IWA.

4. Procedure - Each section of pipeline shall be slowly filled with water and the specified test pressure, measured at the point of lowest elevation, shall be applied by means of a pump connected to the pipe in a manner satisfactory to the engineer. The pump, pipe connection and all necessary apparatus shall be furnished by the Contractor. The pressure gauge may be supplied by the Owner if he desires.

During the filling of the pipe and before applying the specified test pressure, all air shall be expelled from the pipeline. During the test all exposed ends, fittings, valves, hydrants and couplings will be carefully examined. If found to be cracked or defective, they shall be removed and replaced by the Contractor with sound material without additional cost to IWA.

Leakage Tests

Leakage tests shall be conducted after completion of the pressure test and shall consist of an examination of all exposed joints for leakage as well as overall leakage test of the completed pipeline.

The pressure to be maintained during the tests shall be 150 psi.

No test shall be made until at least 36 hours after the last concrete reaction or thrust block has been cast with high, early strength cement, or at least seven days after the last concrete thrust or reaction backing has been cast with standard cement. The duration on each leakage test shall be two hours.

Each section of pipeline shall be slowly filled with water and the specified test pressure shall be supplied by means of a pump connected to the pipe in a manner satisfactory to IWA. The pump, pipe connection, and all necessary apparatus shall be furnished by the Contractor.

Before starting the leakage tests, all air shall be expelled from the pipe.

All exposed pipes, fittings, valves, hydrants and joints shall be examined for leakage during the test. Any joint (and where the accumulated leakage of that joint exceeds the rate of leakage specified in Table A will be rejected by IWA.

No pipe installation shall be accepted until leakage for the section of line tested is less than the rate of leakage specified in Table A. In calculating leakage, the IWA will make allowance for added joints in the pipeline above those incidental to normal 20 foot lengths of pipe and for which Table A applies. Should any test in the section of pipeline disclose joint leakage greater than that permitted, the Contractor shall at his own expense, locate and repair the defective joints until the leakage is within permitted allowance.

TABLE A
LEAKAGE ALLOWANCE
Test Pressure 150 psi

Pipe Dia. (in)	Allowable leakage per 100 joints or couplings in gallons per hour
2	.33
4	.66
6	.99
8	1.32
10	1.66
12	1.99
16	2.65
20	3.31

Sterilization of Mains

Upon completion of the work, or any usable portion thereof, and prior to placing the system or part thereof in operation, all mains, valves, etc. shall be thoroughly flushed and sterilized, using a chlorine-gas mixture or a hypochlorite and water mixture applied in amounts sufficient to produce a dosage of 50 PPM.

The point of application of the sterilizing mixture shall be directed by IWA. Water from the existing system shall be controlled to flow slowly into the newly laid pipeline during the application of the chlorine. Treated water shall remain in the pipeline for not less than 24 hours. After the treated water has been retained for the required time, the chlorine residual at the pipe extremities should be at least 25 PPM.

Following sterilization, the treated water should be flushed from the pipe at its extremities.

If necessary, repeat sterilization until the quality of water to be delivered through system is satisfactory to IWA and the State Board of Health. Two (2) successive tests must be run to conform to time table of the local Health Department lab testing schedule.

When samples are to be collected, IWA must be present.

TABLE I

Minimum thrust block sizes in square feet of concrete contact with undisturbed soil.

pipe size	tee	90°	45°	22½°	11k°
2	1.0	2.0	1.0	1.0	1.0
4	3.0	4.0	2.0	1.0	1.0
6	4.0	5.5	3.0	1.5	1.0
8	7.0	10.0	5.5	3.0	1.5
10	10.0	14.0	7.0	5.0	2.5
12	15.0	20.0	10.0	7.0	4.0
14	21.0	28.0	15.0	8.8	4.5
16	28.0	37.0	20.0	10.0	5.0
18	35.0	47.0	25.4	13.0	6.0
20	43.0	58	31.2	16.0	8.0

NOTES ABOVE ARE REQUIRED BY
ISLAND WATER ASSOCIATION.

REVISED: MAY 20, 1985

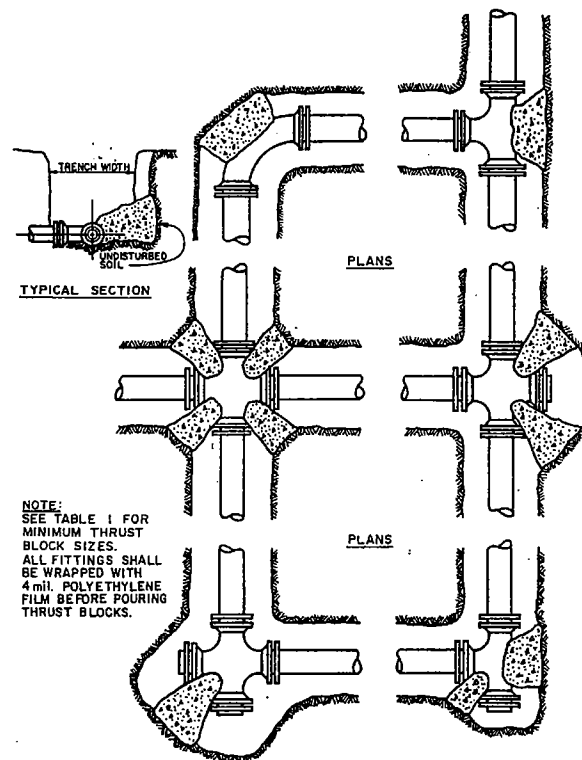
JUL 30 2002
APPROVED
Master Concept Plan
Site Plan • SRMDP Page 20 of 20
Subject to conditions in Resolution # 73-202
Case # ADD 2002-00098

**SOUTH SEAS PLANTATION
MASTER PLAN**

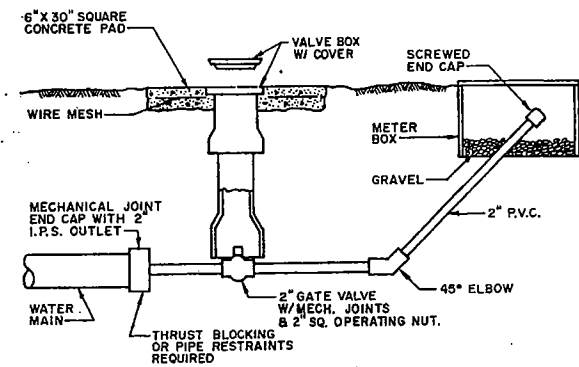
**SEC. 15, 22, & 26, T. 45 S., R. 21 E.
CAPTIVA ISLAND, FLORIDA**

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902

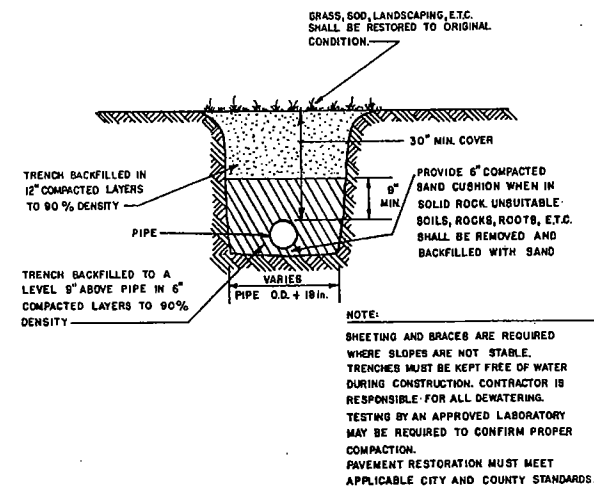
DATE APRIL 1985	PROJECT NO. 13888	FILE NO. 15-45-21	SCALE SHOWN	SHEET 15 OF 18
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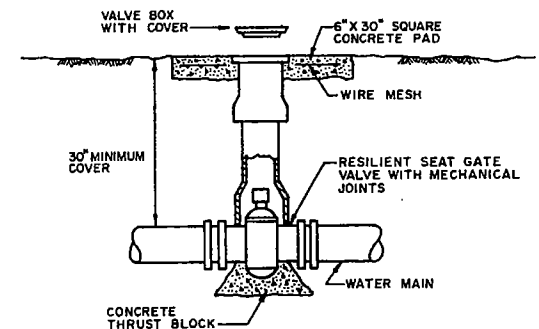
DETAIL 1
 TYPICAL THRUST BLOCKS



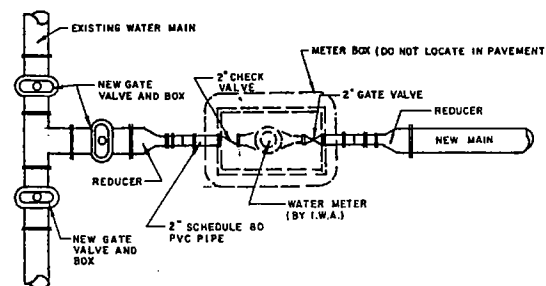
DETAIL 2
 TYPICAL BLOW-OFF
 FOR 6" AND 8" MAINS



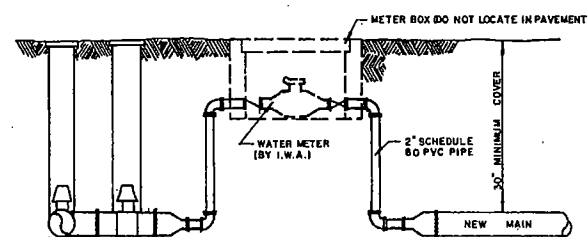
DETAIL 3
 TYPICAL TRENCH DETAIL



DETAIL 4
 TYPICAL VALVE INSTALLATION

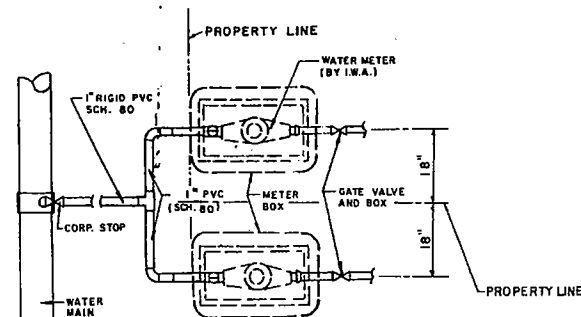


PLAN

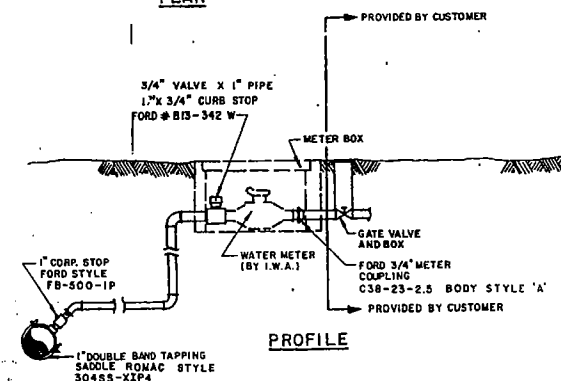


PROFILE

DETAIL 5
 TEMPORARY CONNECTION
 OF 6" AND 8" MAINS

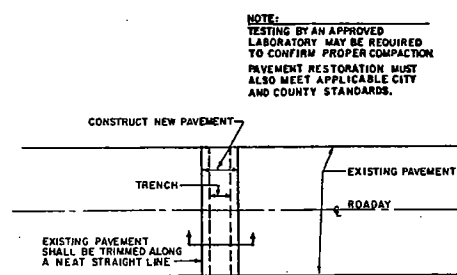


PLAN

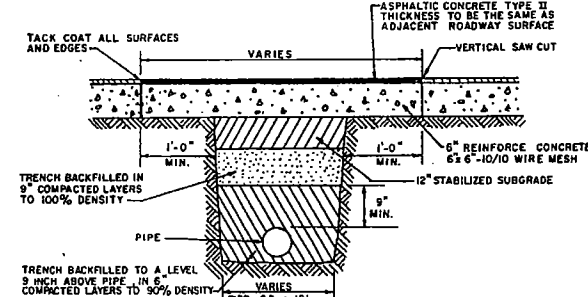


PROFILE

DETAIL 6
 WATER SERVICE
 CONNECTION

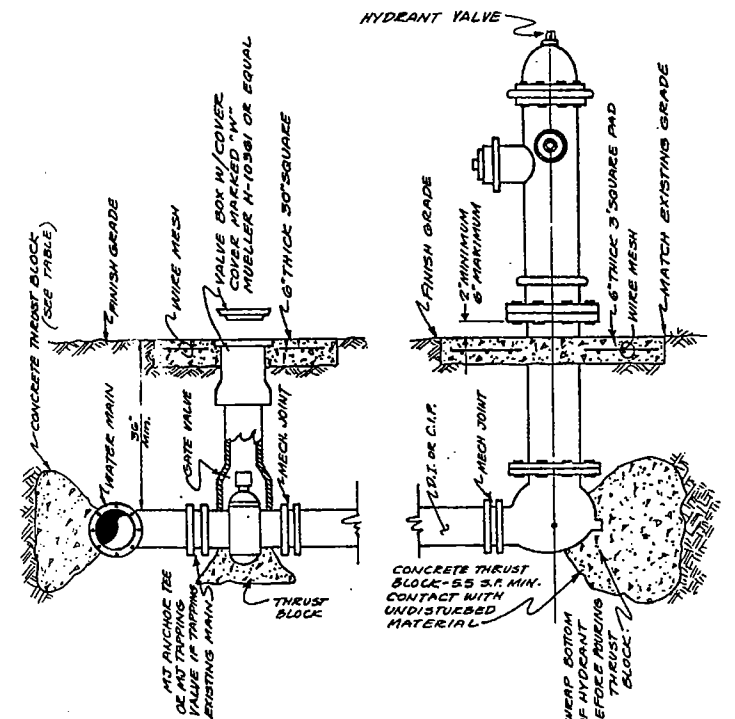


PLAN



SECTION

DETAIL 7
 TYPICAL PAVEMENT RESTORATION



FIRE HYDRANT WITH GATE VALVE

DRAWN BY TP		CHECKED BY JWE	
APPROVED BY <i>Joseph W. Johnson</i>			
REGISTERED PROFESSIONAL ENGINEER FLORIDA CERTIFICATE NO. 19359			
SOUTH SEAS PLANTATION MASTER PLAN			
SEC. 15, 22, 28, T. 45 S., R. 21 E. CAPTIVA ISLAND, FLORIDA			
JOHNSON ENGINEERING, INC. CIVIL ENGINEERS - LAND SURVEYORS POST OFFICE BOX 1550, FORT MYERS, FLORIDA 33902			
DATE APRIL 1985	PROJECT NO. 13888	FILE NO. 15-45-21	SCALE SHOWN
			SHEET 18 OF 18

REVISED: MAY 20, 1985

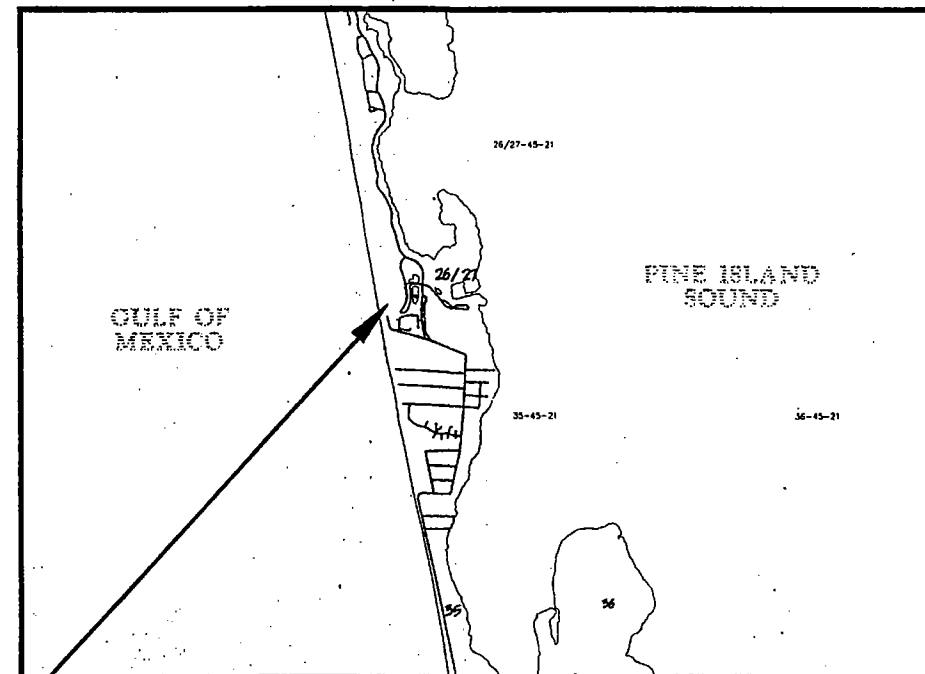
CONSTRUCTION PLANS
FOR

BEACH VILLAS I, II, & III

SECTION 26 & 27, TOWNSHIP 45 S., RANGE 21 E.
LEE COUNTY, FLORIDA

INDEX OF PLANS

SHEET NO.	DESCRIPTION
	COVER SHEET
1	SITE PLAN BEACH VILLAS I
2	SITE PLAN BEACH VILLAS II
3	SITE PLAN BEACH VILLAS III
4	AERIAL



PROJECT LOCATION

LOCATION MAP

0 750 1500 3000
SCALE IN FEET



PREPARED BY

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS
2158 JOHNSON STREET
POST OFFICE BOX 1550
FORT MYERS, FLORIDA 33902
PHONE (813) 334-0046
FAX (813) 334-3661

J.E.I. PROJECT NO. 19593

APRIL 1994

Division of Development Services
Limited Review Development Order
APPROVED
By *[Signature]* Date *10/17/94*
For *Beach Villas I, II, & III*
DO # *ADD 2002-00098*
Review Type *1*
Zoning *RM-1*
Approval based on the information
supplied by applicant.

Division of Development Services
Limited Review Development Order
APPROVED
By *[Signature]* Date *9/16/94*
For *Beach Villas I, II, & III*
DO # *ADD 2002-00098*
Review Type *1*
Zoning *RM-1*
Approval based on the information
supplied by applicant.

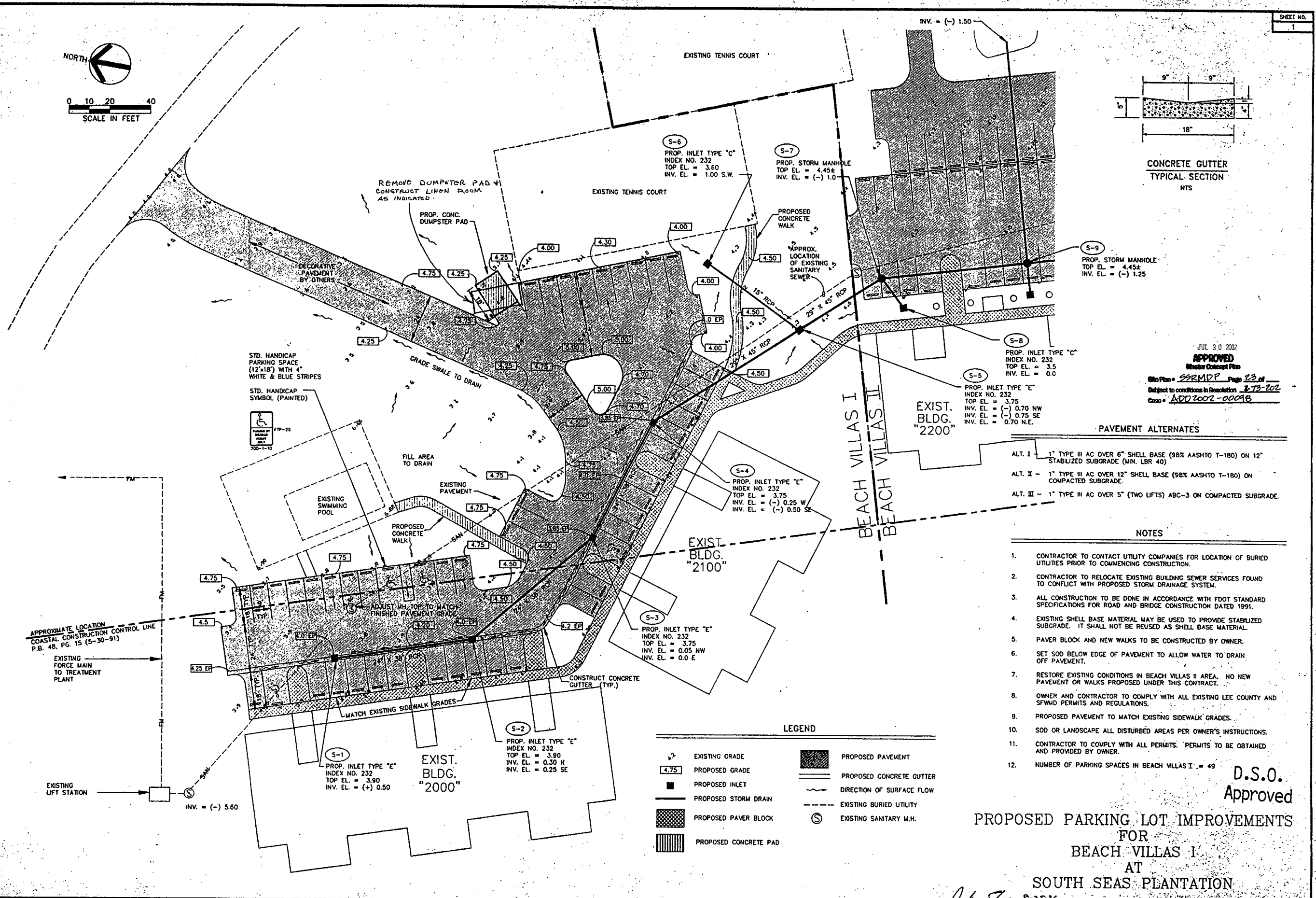
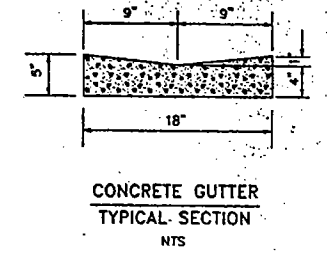
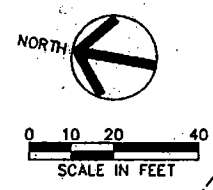
JUL 30 2002
APPROVED
Master Concept Plan
Site Plan - *SRMDD* Page *22 of 22*
Subject to conditions in Resolution *1-13-202*
Case # *ADD 2002-00098*

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19359

[Signature]
JOSEPH W. EBNER

DATE *8-20-94*





JUL 30 2002
APPROVED
Master Concept Plan
Site Plan # 88RMDP Page 23 of 23
Subject to conditions in Resolution 2-73-202
Case # ADD 2002-00048

PAVEMENT ALTERNATES

- ALT. I - 1" TYPE III AC OVER 6" SHELL BASE (98% AASHTO T-180) ON 12" STABILIZED SUBGRADE (MIN. LBR 40)
- ALT. II - 1" TYPE III AC OVER 12" SHELL BASE (98% AASHTO T-180) ON COMPACTED SUBGRADE
- ALT. III - 1" TYPE III AC OVER 5" (TWO LIFTS) ABC-3 ON COMPACTED SUBGRADE

NOTES

- CONTRACTOR TO CONTACT UTILITY COMPANIES FOR LOCATION OF BURIED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR TO RELOCATE EXISTING BUILDING SEWER SERVICES FOUND TO CONFLICT WITH PROPOSED STORM DRAINAGE SYSTEM.
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 1991.
- EXISTING SHELL BASE MATERIAL MAY BE USED TO PROVIDE STABILIZED SUBGRADE. IT SHALL NOT BE REUSED AS SHELL BASE MATERIAL.
- PAVER BLOCK AND NEW WALKS TO BE CONSTRUCTED BY OWNER.
- SET SOD BELOW EDGE OF PAVEMENT TO ALLOW WATER TO DRAIN OFF PAVEMENT.
- RESTORE EXISTING CONDITIONS IN BEACH VILLAS II AREA. NO NEW PAVEMENT OR WALKS PROPOSED UNDER THIS CONTRACT.
- OWNER AND CONTRACTOR TO COMPLY WITH ALL EXISTING LEE COUNTY AND SPWMD PERMITS AND REGULATIONS.
- PROPOSED PAVEMENT TO MATCH EXISTING SIDEWALK GRADES.
- SOD OR LANDSCAPE ALL DISTURBED AREAS PER OWNER'S INSTRUCTIONS.
- CONTRACTOR TO COMPLY WITH ALL PERMITS. PERMITS TO BE OBTAINED AND PROVIDED BY OWNER.
- NUMBER OF PARKING SPACES IN BEACH VILLAS I = 49

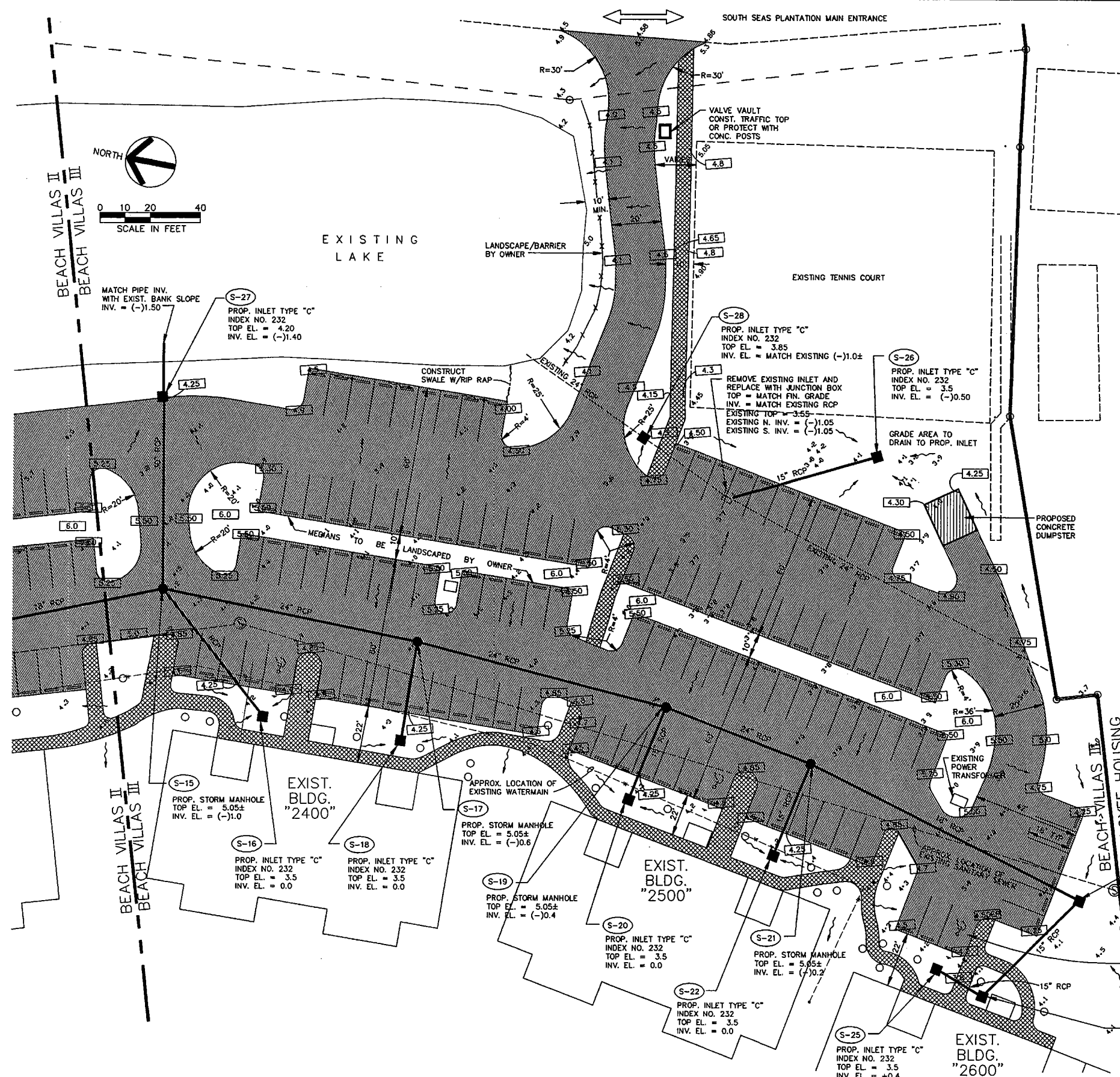
D.S.O.
Approved

PROPOSED PARKING LOT IMPROVEMENTS
FOR
BEACH VILLAS I
AT
SOUTH SEAS PLANTATION

LEGEND

	EXISTING GRADE		PROPOSED PAVEMENT
	PROPOSED GRADE		PROPOSED CONCRETE GUTTER
	PROPOSED INLET		DIRECTION OF SURFACE FLOW
	PROPOSED STORM DRAIN		EXISTING BURIED UTILITY
	PROPOSED PAVER BLOCK		EXISTING SANITARY M.H.
	PROPOSED CONCRETE PAD		

REVISIONS				DESIGNED				NAME		DATE	JOHNSON ENGINEERING, INC.	BEACH VILLAS I	EXISTING PARKING LAYOUT FOR BLDGS. "2000" & "2100"
DATE	BY	DESCRIPTION		DATE	BY	DESCRIPTION		NAME	DATE				
								DESIGNED	JWE		2138 JOHNSON STREET, P.O. BOX 1550, PHONE (813) 334-0048 FORT MYERS, FLORIDA 33902-1550		
								DRAWN	DOT	10-27-93			
								CHECKED	JWE				

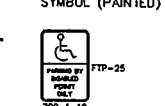


LEGEND

	EXISTING GRADE		PROPOSED PAVEMENT
	PROPOSED GRADE		DIRECTION OF SURFACE FLOW
	PROPOSED INLET		EXISTING BURIED UTILITY
	PROPOSED STORM DRAIN		EXISTING SANITARY M.H.
	PROPOSED PAVER BLOCK		EXISTING TREE TO REMAIN
	PROPOSED CONCRETE PAD		

- NOTES**
1. CONTRACTOR TO CONTACT UTILITY COMPANIES FOR LOCATION OF BURIED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 2. CONTRACTOR TO RELOCATE EXISTING BUILDING SEWER SERVICES FOUND TO CONFLICT WITH PROPOSED STORM DRAINAGE SYSTEM.
 3. ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 1991.
 4. EXISTING SHELL BASE MATERIAL MAY BE USED TO PROVIDE STABILIZED SUBGRADE. IT SHALL NOT BE REUSED AS SHELL BASE MATERIAL.
 5. PAVER BLOCK AND NEW WALKS TO BE CONSTRUCTED BY OWNER.
 6. SET SOD BELOW EDGE OF PAVEMENT TO ALLOW WATER TO DRAIN OFF PAVEMENT.
 7. OWNER AND CONTRACTOR TO COMPLY WITH ALL EXISTING LEE COUNTY AND SFWM PERMITS AND REGULATIONS.
 8. PROPOSED PAVEMENT TO MATCH EXISTING SIDEWALK GRADES.
 9. SOD OR LANDSCAPE ALL DISTURBED AREAS PER OWNER'S INSTRUCTIONS.
 10. CONTRACTOR TO COMPLY WITH ALL PERMITS. SFWM AND LEE COUNTY DEVELOPMENT ORDER PROVIDED BY OWNER. OTHER PERMITS TO BE OBTAINED BY CONTRACTOR.
 11. TOP MANHOLE GRADES ARE APPROXIMATE. CONTRACTOR TO MATCH FINISH PAVEMENT GRADE.
 12. PROPOSED PAVEMENT TO BE 1" TYPE III AC OVER 6" SHELL BASE (98% AASHTO T-180) ON 12" STABILIZED SUBGRADE (MIN. LBR 40)
 13. NUMBER OF PARKING SPACES IN BEACH VILLAS III = 116

STD. HANDICAP SYMBOL (PAINTED)



STD. HANDICAP PARKING SPACE (12'x18') WITH 4" WHITE & BLUE STRIPES

JUL 30 2002
APPROVED
Master Concept Plan
Site Plan # SSKRMDP Page 25 of 25
Subject to conditions in Resolution 272-2002
Case # ADD2002-00098

PROPOSED PARKING LOT IMPROVEMENTS FOR BEACH VILLAS III AT SOUTH SEAS PLANTATION

REVISIONS				REVISIONS				REVISIONS				REVISIONS			
DATE	BY	DESCRIPTION		DATE	BY	DESCRIPTION		DATE	BY	DESCRIPTION		DATE	BY	DESCRIPTION	

DESIGNED	JWE	3-20-94	JOHNSON ENGINEERING, INC.
DRAWN	DOT	3-28-94	CIVIL ENGINEERS - LAND SURVEYORS
CHECKED	JWE	4-26-94	2158 JOHNSON STREET, P.O. BOX 1550, PHONE (813) 334-0046
			FORT MYERS, FLORIDA 33902-1550

BEACH VILLAS III	EXISTING PARKING LAYOUT FOR BLDGS. 2400, 2500 & 2600
------------------	--

19993A14.DWG

SCREEN ROOM / STORAGE CLOSET - PELICAN PETE'S BAR

9-13-95 - 95-09-112.00T

MEMORANDUM
FROM
THE DEPARTMENT OF
COMMUNITY DEVELOPMENT
DIVISION OF DEVELOPMENT REVIEW

DATE: 09-13-95
TO: Bldg. Dept. FROM: Susan Hollingworth

RE: Transmittal No. 95-09-112.00T

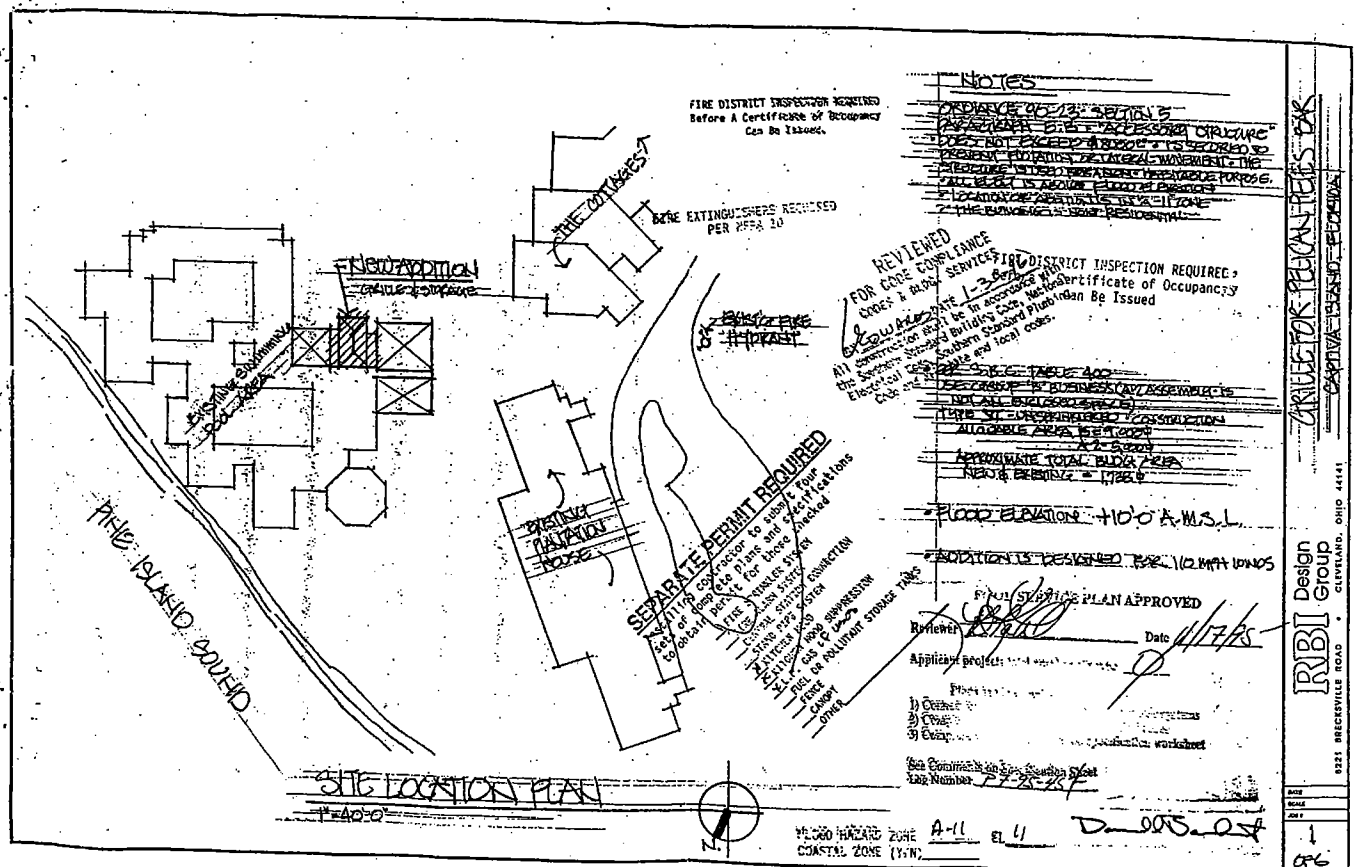
STRAP Number: 22-45-21-00-00005.002B

Subject: Screen Room & storage closet

Location: Pelican Pete's Bar @ Main swimming area
South Seas Plantation - Captiva

Background/Comments: Development Services approves the screen room and storage area as highlighted on the plan stamped and dated 9/13/95 by this office. Both additions are to go over existing impervious area. Please note that these additions have not been reviewed for fire or flood issues. If you have any questions, please do not hesitate to contact me.

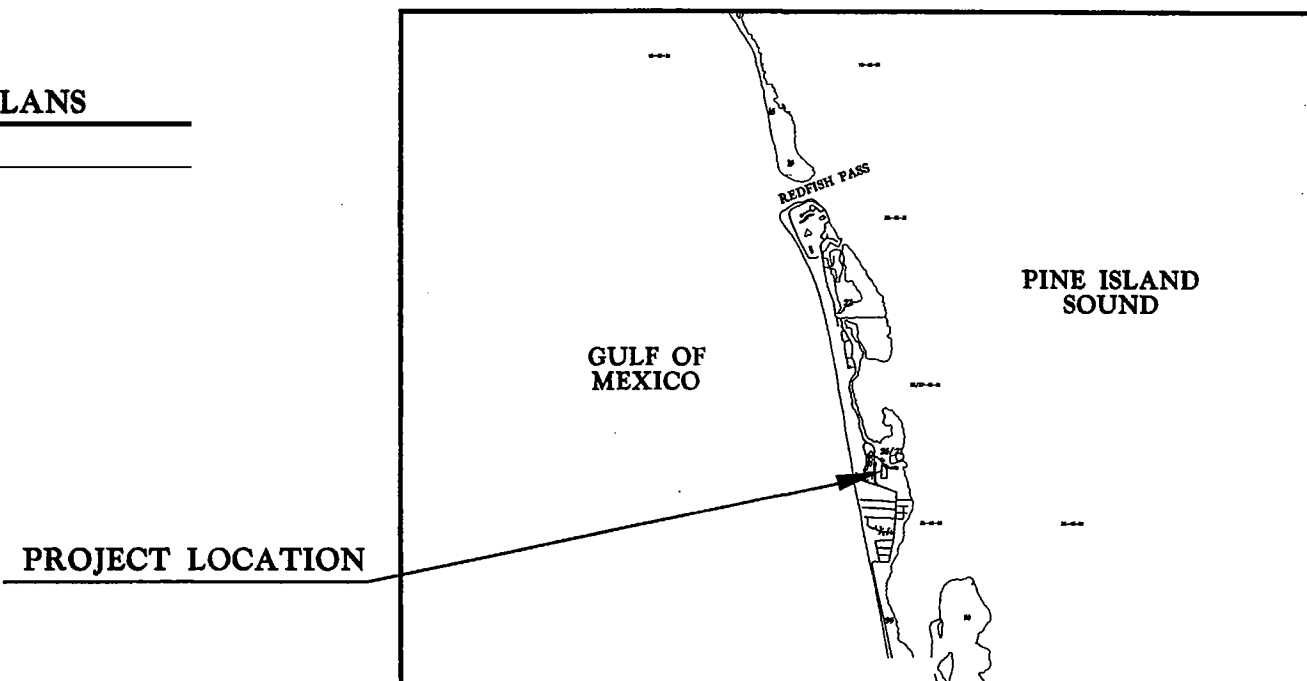
DDR-0070 REV. 01
REVISED 10/13/93



CONSTRUCTION PLANS FOR TENNIS VILLAS AT SOUTH SEAS PLANTATION PROPOSED PARKING LOT RECONSTRUCTION

SECTION 26, TOWNSHIP 45 S., RANGE 21 E.
LEE COUNTY, FLORIDA

INDEX OF PLANS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	DETAILS



PROJECT LOCATION

LOCATION MAP

0 1500 3000 6000
SCALE IN FEET

PREPARED BY

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

2158 JOHNSON STREET
POST OFFICE BOX 1550
FORT MYERS, FLORIDA 33902
PHONE (813) 334-0046
FAX (813) 334-3661

J.E.I. PROJECT NO. 21057

MARCH 1996



Division of Development Services
Limited Review Development Office
APPROVED
By JS Date 5/14/96
For JOHNSON ENGINEERING, INC.
Project PROPOSED SITE MAP
DO # 96-02-116.011
Review Type 1
Zoning RM-TEMS. D18
*Approval based on site information
supplied by applicant.

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19359

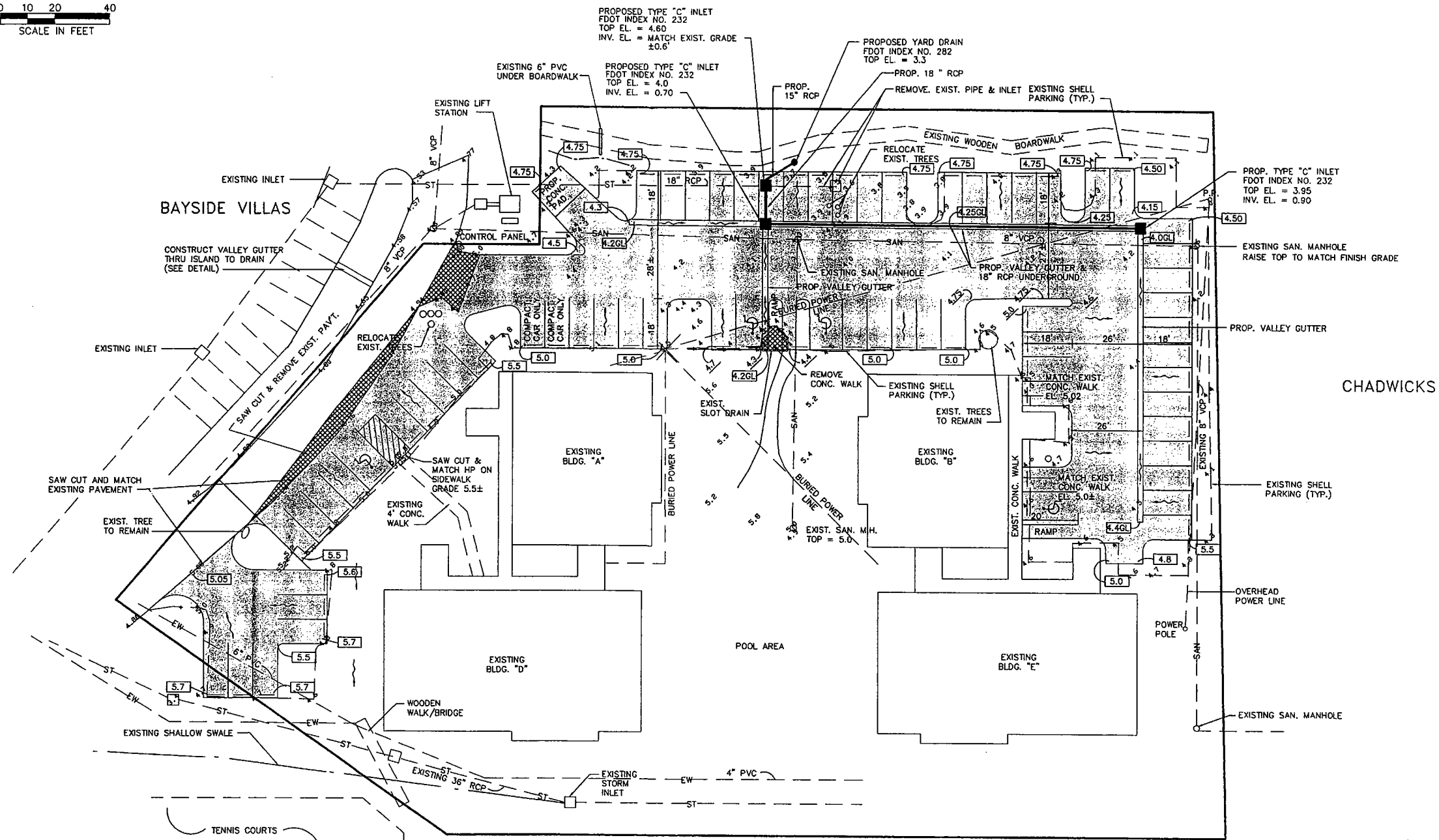
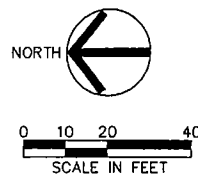
Joseph W. Ebner
JOSEPH W. EBNER

4/1/96
DATE



JUL 30 2002
APPROVED
Master Concept Plan

Site Plan • SSRMDP Page 21 of 21
Subject to conditions in Resolution 2-73-202
Case # ADD2002-00098



TOTAL SITE AREA = 1.99 ACRES

TENNIS COURTS AND PRO SHOP

LEGEND

- EXISTING GRADE
- MATCH EXISTING GRADE
- PROPOSED GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING SANITARY M.H.
- PROPOSED PAVEMENT (0.48 AC.)
- REMOVE EXISTING PAVEMENT
- DIRECTION OF SURFACE FLOW
- EXISTING BURIED PIPE
- PROPOSED STORM DRAIN

REVISED 3-19-96: WALK AND PARKING SPACES BETWEEN BLDGS. A & B

JUL 30 2002

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Master Concept Plan

Site Plan - 22KMDP Page 28 of 28
Subject to conditions in Resolution 1-72-202
Case # ADD2002-00098

John St 4/2/96

03-21-1996 07:12

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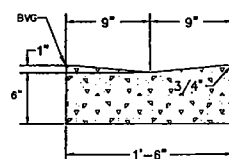
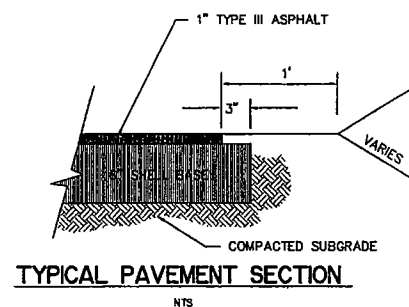
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DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY

	NAME	DATE
DESIGNED	CRY	
DRAWN	DOT	12-17-92
CHECKED	JWE	

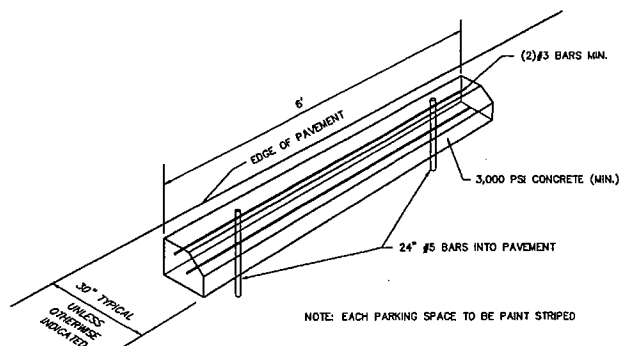
JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS
2158 JOHNSON STREET, P.O. BOX 1550, FORT MYERS, FLORIDA 33902-1550
PHONE (841) 334-0045 FAX (841) 334-3681

TENNIS VILLAS AT
SOUTH SEAS PLANTATION

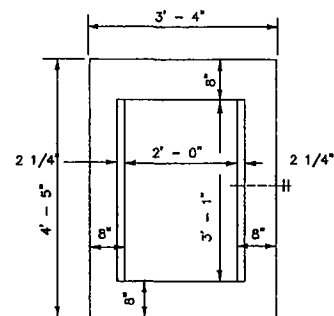
SITE PLAN



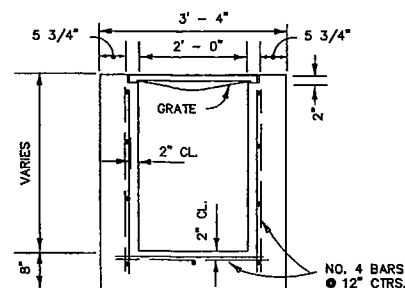
VALLEY GUTTER
N.T.S.
CONFORM TO FDOT INDEX NO. 300



WHEEL STOP
NTS



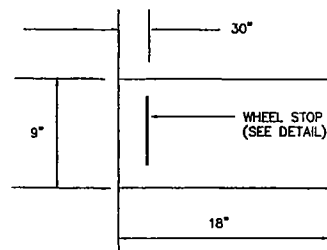
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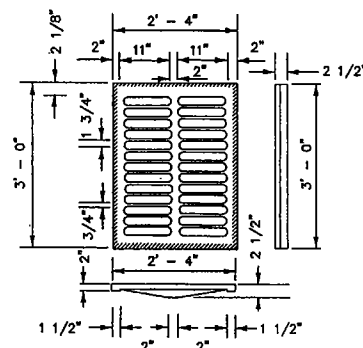
SECTION

INLET TYPE "C"

RECOMMENDED MAXIMUM PIPE SIZE:
2' - 0" WALL - 18" PIPE
3' - 1" WALL - 24" PIPE



TYPICAL PARKING SPACE
NTS



IRON GRID

APPROX. WEIGHT 235 LBS.

NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 1991.
2. CONTRACTOR TO CONTACT ALL UTILITY COMPANIES FOR LOCATION OF BURIED UTILITIES PRIOR TO CONSTRUCTION.

JUL 30 2002
APPROVED
Master Concept Plan
Site Plan - 66RMDP Page 29
Subject to conditions in Resolution 2-73-202
Case - ADD2002-00098

John D. 4/1/96
DETAILS

1906A03 03-07-1996 09:15

REVISIONS				REVISIONS			
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY

JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS
2155 JOHNSON STREET, P.O. BOX 1550, FORT MYERS, FLORIDA 33902-1550
PHONE (941) 334-0046 FAX (941) 334-3681

TENNIS VILLAS AT
SOUTH SEAS PLANTATION

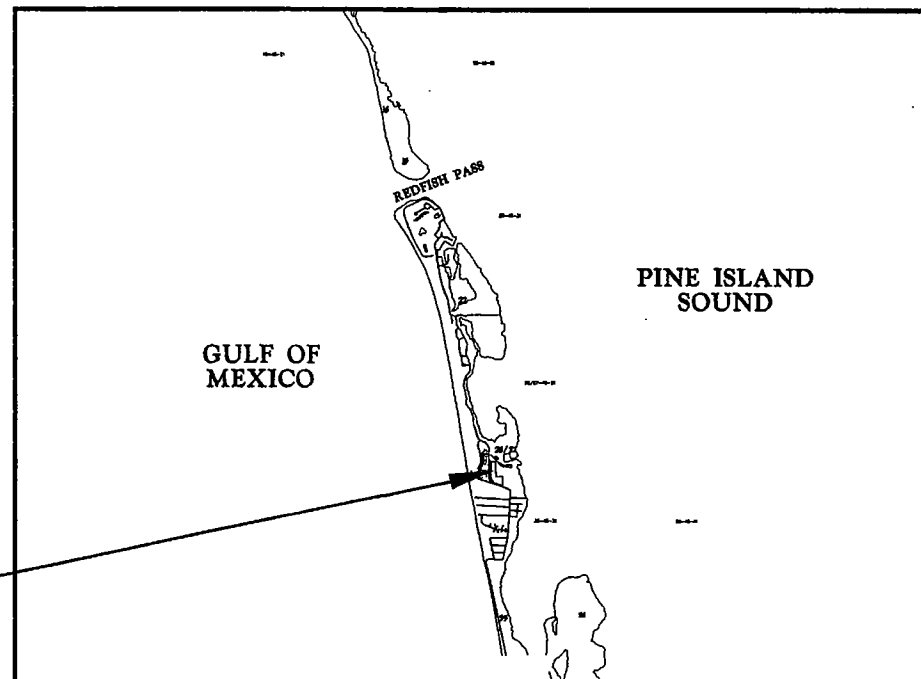
CONSTRUCTION PLANS FOR SOUTH SEAS PLANTATION TENNIS COURT AND PARKING LOT IMPROVEMENTS

SECTION 26, TOWNSHIP 45 S., RANGE 21 E.
LEE COUNTY, FLORIDA

INDEX OF PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3 - 4	GRADING AND DRAINAGE PLAN
5 - 6	PAVEMENT REMOVAL AND OVERLAY PLAN
7	DETAILS
8	EXISTING TOPOGRAPHY

PROJECT LOCATION



LOCATION MAP

0 1500 3000 6000
SCALE IN FEET

PREPARED BY

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

2158 JOHNSON STREET
POST OFFICE BOX 1550
FORT MYERS, FLORIDA 33902
PHONE (813) 334-0046
FAX (813) 334-3661

J.E.I. PROJECT NO. 21057

JUNE 1996

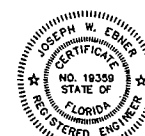


By RB Date 7/15/96
For TEWIS CONCRETE
Drawing No. 26-07-06.2.02.1
Review Type 2
Zoning FE.M.A. LPA
*Approved based on all information
supplied by applicant.

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19359

Joseph W. Ebner
JOSEPH W. EBNER

7-2-96
DATE

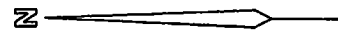


JUL 30 2002

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Master Concept Plan

Site Plan - SRMDP Page 30
Subject to conditions in Resolution 173-202
Case # ADD 2002-00098



BAYSIDE VILLAS
CONDOMINIUM
PHASE II
OR 1382/1118

TENNIS VILLAS
CONDOMINIUM
OR 1237/1217

CHADWICK'S RESTAURANT

POB DESCRIPTION

SOUTH SEAS PLANTATION ROAD
(ROADWAY & UTILITY EASEMENT)

CAPTIVA DRIVE S.W. (FORMERLY BINDER AVENUE) (DB 54/540)

CHADWICK'S SQUARE

SOUTH SEAS PLANTATION
BEACH VILLAS III
OR 1269/0119
OR 1302/1400

JUL 30 2002
APPROVED
Minor Concept Plan
Site Plan - SKETCH Page 31
Subject to conditions in Resolution 1-73-202
Case # ADD 2002-00098

D.S.O.
Approved

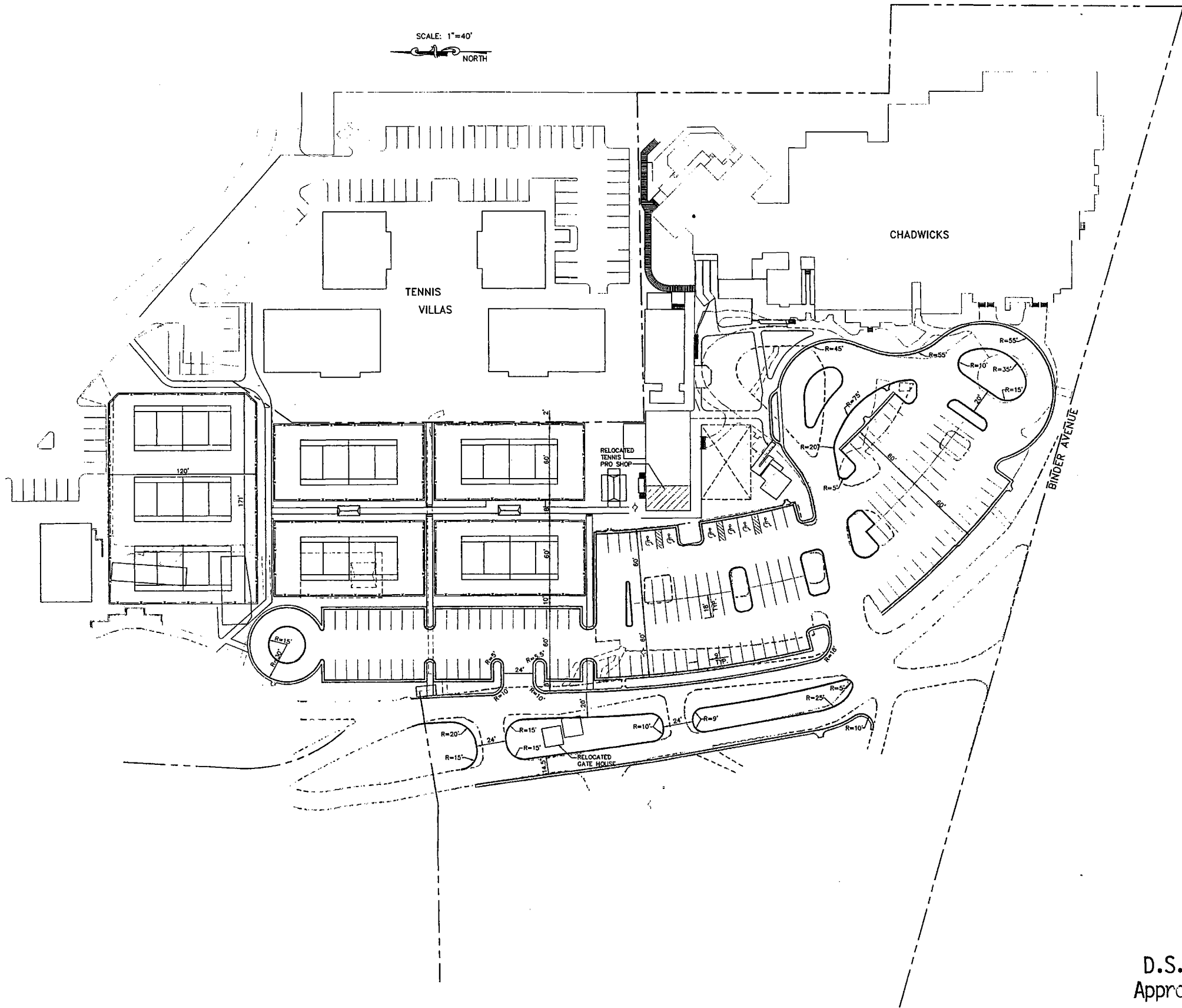
SKETCH TO ACCOMPANY DESCRIPTION
SOUTH SEAS PLANTATION
ENTRANCE SITE IMPROVEMENT AREA
SECTION 26, TWP. 45 S., RGE. 21 E.
CAPTIVA ISLAND, LEE COUNTY, FLORIDA

W. Britt Pomeroy, Jr.
W. BRITT POMEROY, JR. (For The Firm - LB#642)
Professional Land Surveyor
Florida Certificate No. 4448

Date Signed: 7-5-96
Not valid without the signature and the original raised
seal of a Florida licensed surveyor and mapper.

JOHNSON ENGINEERING, INC.				
ENGINEERS, SURVEYORS AND ECOLOGISTS				
2158 JOHNSON STREET, POST OFFICE BOX 1050, FORT MYERS, FLORIDA 33902-1550 (941) 334-0046				
DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
JULY, 1996	21057	26-45-21	1" = 40'	1 OF 1

SCALE: 1"=40'
NORTH



GENERAL NOTES

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DATED 1991, AND FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, DATED 1994.

THE CONTRACTOR SHALL CONTACT THE OWNER AND UTILITY COMPANIES PRIOR TO COMMENCING CONSTRUCTION TO LOCATE BURIED UTILITIES.

ALL PAVEMENT MARKINGS AND SYMBOLS SHALL BE DONE WITH FDOT LATEX TRAFFIC PAINT OR THERMOPLASTIC MATERIAL AT THE OWNER'S OPTION. PAINT STRIPES FOR PARKING SPACES SHALL BE 4" WIDE LATEX PAINT.

ALL DISTURBED AREAS, NOT TO BE PAVED, SHALL BE SODDED UNLESS OTHERWISE DIRECTED BY THE OWNER WHO MAY ELECT TO LANDSCAPE IN LIEU OF SOD.

WALKS ADJACENT TO CHADWICKS AND OTHER BUILDINGS MAY BE MODIFIED TO MEET NEW PAVEMENT GRADES AND PEDESTRIAN WALK LOCATIONS.

THE CONTRACTOR SHALL COORDINATE HIS WORK WITH LANDSCAPE, LIGHTING, AND IRRIGATION CONTRACTORS AS NECESSARY.

D.S.O.
Approved

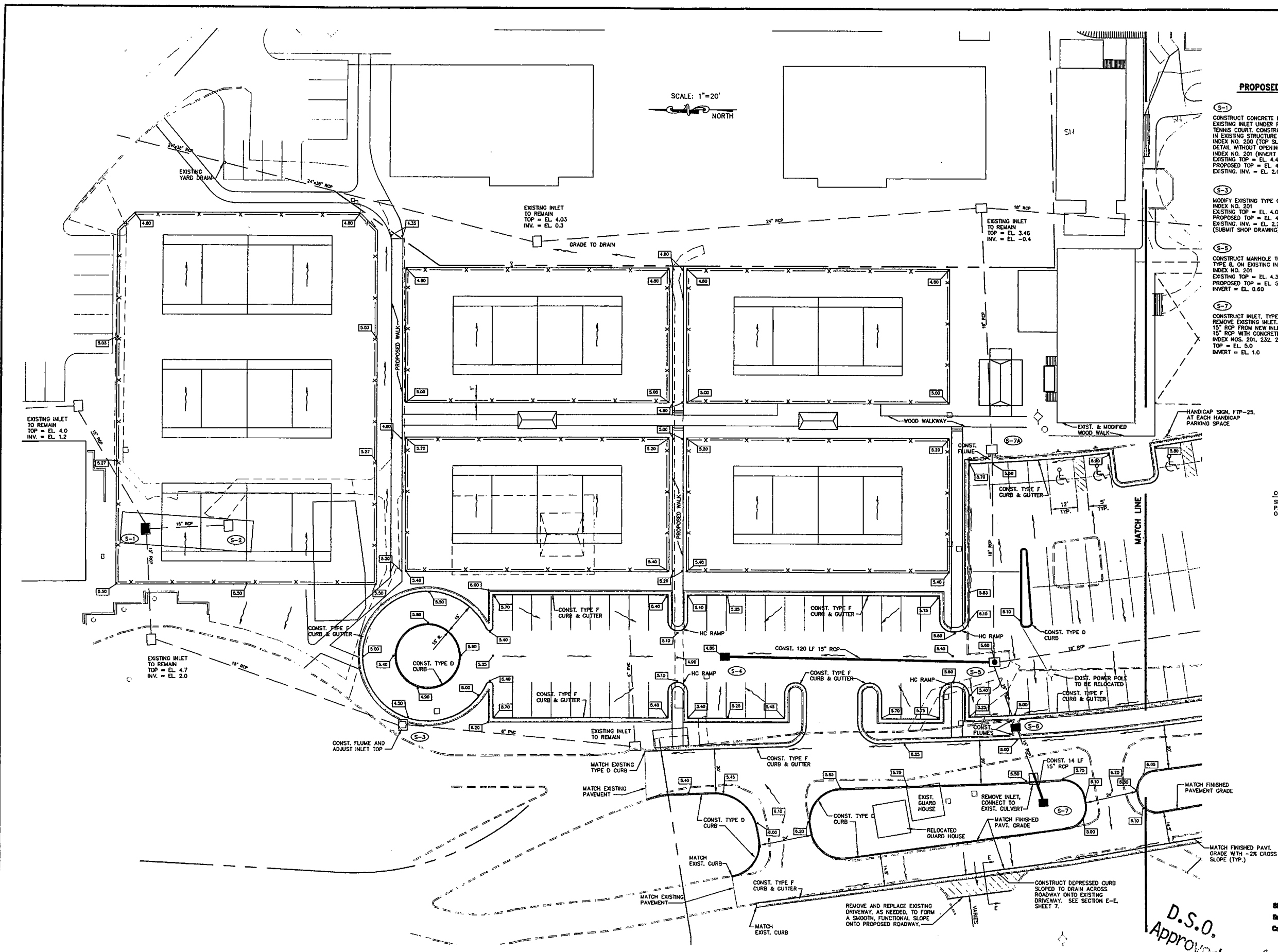
JUL 30 2002
APPROVED
Master Concept Plan
Site Plan • SSRMDP Page 32 of 32
Subject to conditions in Resolution 2-73-202
Case • ADD 2002-00098

John 7-3-96
SITE PLAN

REVISIONS							
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY

JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS
2158 JOHNSON STREET, P.O. BOX 1550, FORT MYERS, FLORIDA 33902-1550
PHONE (941) 334-0046 FAX (941) 334-3661

SOUTH SEAS PLANTATION
TENNIS COURT AND PARKING
LOT IMPROVEMENTS



PROPOSED DRAINAGE STRUCTURES

- S-1**
CONSTRUCT CONCRETE U/D ON EXISTING INLET UNDER PROPOSED TENNIS COURT. CONSTRUCT FILLET IN EXISTING STRUCTURE BOTTOM. INDEX NO. 200 (TOP SLAB DETAIL, WITHOUT OPENING). INDEX NO. 201 (INVERT DETAIL). EXISTING TOP = EL. 4.45 EXISTING INV. = EL. 2.0 PROPOSED TOP = EL. 4.75 EXISTING INV. = EL. 2.0
- S-2**
CONFIRM EXISTING INLET UNDER EXISTING BUILDING AND REMOVE INLET AND CULVERT. PLUG SIDE OF S-1 INLET.
- S-3**
MODIFY EXISTING TYPE C INLET. INDEX NO. 201. EXISTING TOP = EL. 4.0 EXISTING INV. = EL. 2.2 PROPOSED TOP = EL. 4.35 EXISTING INV. = EL. 2.2 (SUBMIT SHOP DRAWING)
- S-4**
CONSTRUCT INLET, TYPE C ON EXISTING 15" RCP. INDEX NOS. 201, 232 TOP = EL. 4.8 INVERT = EL. 1.0
- S-5**
CONSTRUCT MANHOLE TOP, TYPE B, ON EXISTING INLET. INDEX NO. 201 EXISTING TOP = EL. 4.3 EXISTING INV. = EL. 5.6 INVERT = EL. 0.60
- S-6**
CONSTRUCT INLET, TYPE C ON EXISTING 15" RCP. INDEX NOS. 201, 232 TOP = EL. 4.7 INVERT = EL. 0.80 ±
- S-7**
CONSTRUCT INLET, TYPE C AND REMOVE EXISTING INLET. CONNECT 15" RCP FROM NEW INLET TO EXISTING 15" RCP WITH CONCRETE COLLAR. INDEX NOS. 201, 232, 280 TOP = EL. 5.0 INVERT = EL. 1.0
- S-7A**
MODIFY EXISTING INLET INDEX NO. 201 EXIST. TOP = EL. 3.5 EXIST. INV. = EL. 5.20 INVERT = EL. 0.50 ± CONST. SLOPE (E. SIDE) = EL. 3.5

CONTRACTOR NOTE:
SEE SHEET NO. 5 FOR AREAS WHERE PAYMENT IS TO BE REMOVED OR OVERLAYED.

LEGEND

- PROPOSED GRADE
 - DIRECTION OF SURFACE FLOW
- SEE SHEET NO. 8 FOR EXISTING ELEVATIONS

JUL 30 2002
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Master Concept Plan
Site Plan • **SRKMDP** Page 33 of 33
Subject to conditions in Resolution **7-72-202**
Case • **ADD 2002-00093**

D.S.O.
Approved

GRADING AND DRAINAGE PLAN

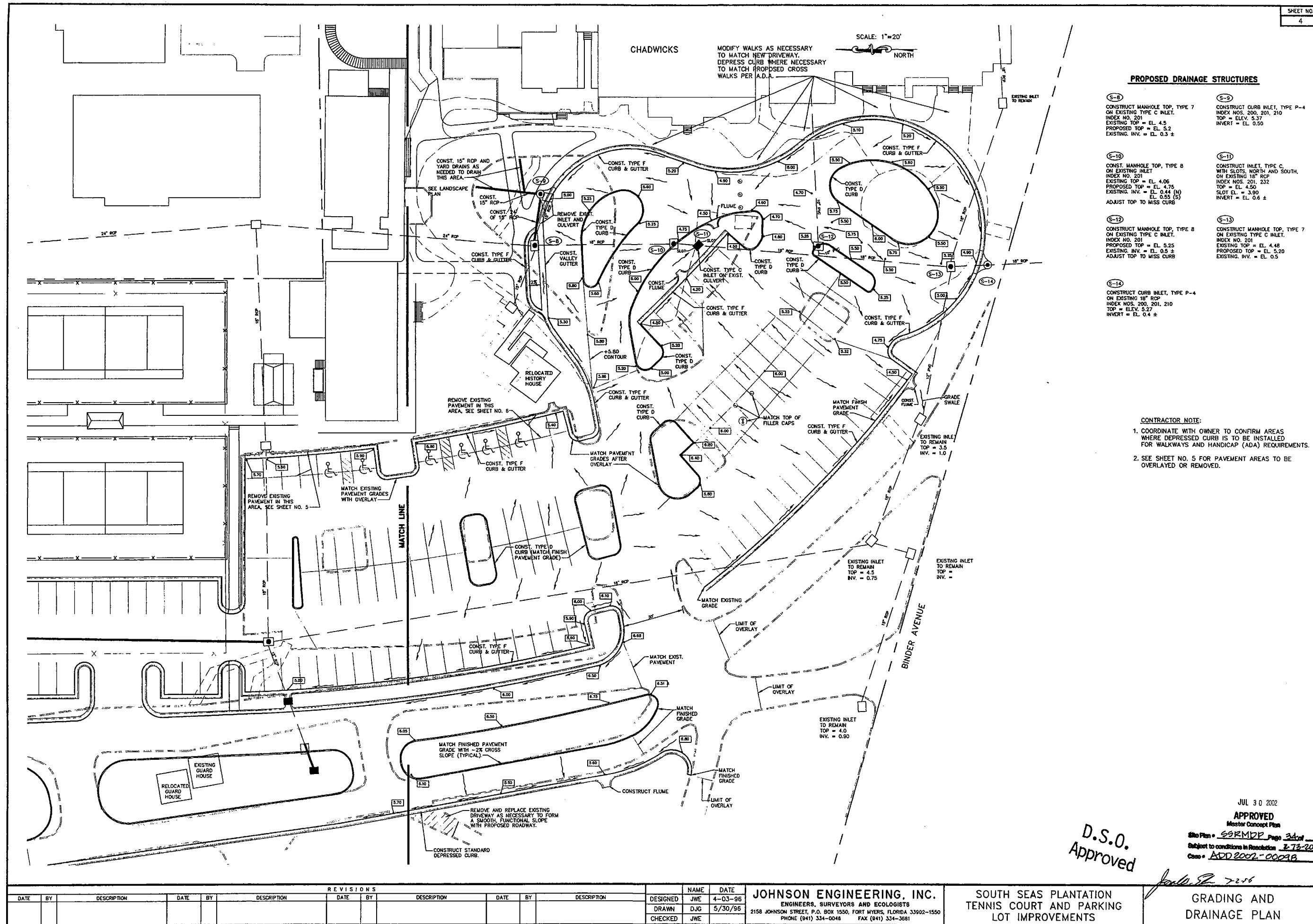
APPROVAL SUBMITTAL SET - NOT FOR CONSTRUCTION

05-30-1996 DJG 21057A11.DWG

REVISIONS				REVISIONS			
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY

DESIGNED JWE 4-03-96
DRAWN DJG 5/30/96
CHECKED JWE
JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS
2158 JOHNSON STREET, P.O. BOX 1550, FORT MYERS, FLORIDA 33902-1550
PHONE (941) 334-0046 FAX (941) 334-3681

SOUTH SEAS PLANTATION TENNIS COURT AND PARKING LOT IMPROVEMENTS



PROPOSED DRAINAGE STRUCTURES

- S-8**
 CONSTRUCT MANHOLE TOP, TYPE 7
 ON EXISTING TYPE C INLET.
 INDEX NO. 201
 EXISTING TOP = EL. 4.5
 PROPOSED TOP = EL. 5.2
 EXISTING, INV. = EL. 0.3 ±

S-9
 CONSTRUCT CURB INLET, TYPE P-4
 INDEX NOS. 200, 201, 210
 TOP = ELEV. 5.37
 INVERT = EL. 0.50

S-10
 CONST. MANHOLE TOP, TYPE B
 ON EXISTING INLET
 INDEX NO. 201
 EXISTING TOP = EL. 4.06
 PROPOSED TOP = EL. 4.75
 EXISTING, INV. = EL. 0.44 (N)
 EL. 0.55 (S)
 ADJUST TOP TO MISS CURB

S-11
 CONSTRUCT INLET, TYPE C,
 WITH SLOTS, NORTH AND SOUTH,
 ON EXISTING 18" RCP
 INDEX NOS. 201, 232
 TOP = EL. 4.50
 SLOT EL. = 3.90
 INVERT = EL. 0.6 ±

S-12
 CONSTRUCT MANHOLE TOP, TYPE B
 ON EXISTING TYPE C INLET.
 INDEX NO. 201
 PROPOSED TOP = EL. 5.25
 EXISTING, INV. = EL. 0.5 ±
 ADJUST TOP TO MISS CURB

S-13
 CONSTRUCT MANHOLE TOP, TYPE 7
 ON EXISTING TYPE C INLET.
 INDEX NO. 201
 EXISTING TOP = EL. 4.48
 PROPOSED TOP = EL. 5.20
 EXISTING, INV. = EL. 0.5

S-14
 CONSTRUCT CURB INLET, TYPE P-4
 ON EXISTING 18" RCP
 INDEX NOS. 200, 201, 210
 TOP = ELEV. 5.27
 INVERT = EL. 0.4 ±

CONTRACTOR NOTE:

1. COORDINATE WITH OWNER TO CONFIRM AREAS WHERE DEPRESSED CURB IS TO BE INSTALLED FOR WALKWAYS AND HANDICAP (ADA) REQUIREMENTS.
2. SEE SHEET NO. 5 FOR PAVEMENT AREAS TO BE OVERLAYED OR REMOVED.

JUL 30 2002

APPROVED

Site Plan • SSRMDP Page 34 of
Subject to conditions in Resolution 2-73-20
Case • ADD 2002-00098

D.S.O.
Approved

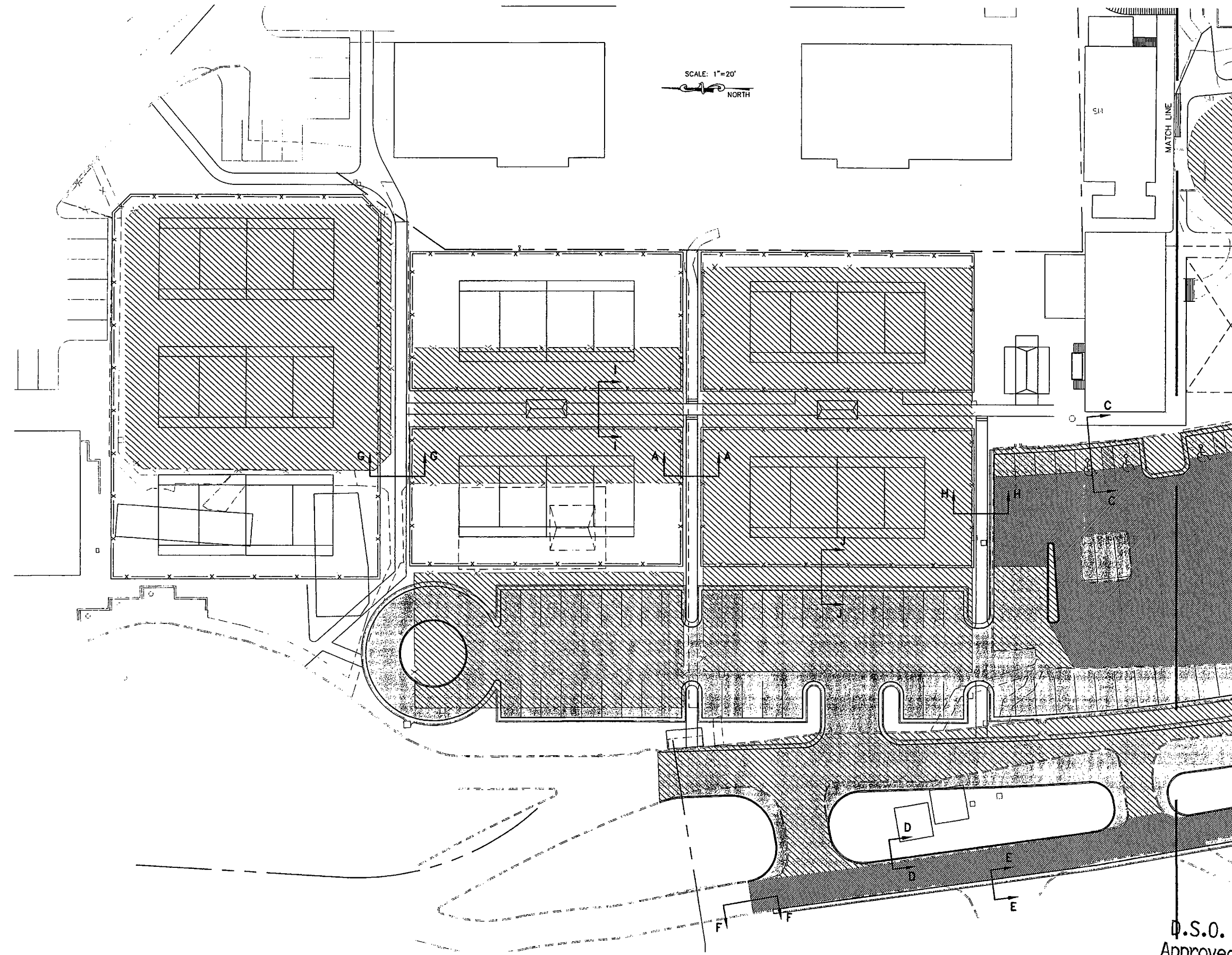
Ind. St. 7250

GRADING AND DRAINAGE PLAN

JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS
2158 JOHNSON STREET, P.O. BOX 1550, FORT MYERS, FLORIDA 33902-1555
PHONE (941) 334-0048 FAX (941) 334-3681

SOUTH SEAS PLANTATION
TENNIS COURT AND PARKING
LOT IMPROVEMENTS

						REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION



JUL 30 2002
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 Master Concept Plan
 Site Plan - SSRMDP Page 35 of 35
 Subject to conditions in Resolution E-73-202
 Case # ADD2002-00098

LEGEND

- NEW PAVEMENT
- REMOVE EXISTING PAVEMENT
- OVERLAY EXISTING PAVEMENT
- LEVELING COURSE ON EXISTING PAVEMENT
- REMOVE PAVER BLOCKS

D.S.O.
 Approved

[Signature] 7256

05-30-1996 DJG 21057A09.DWG

REVISIONS							
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY

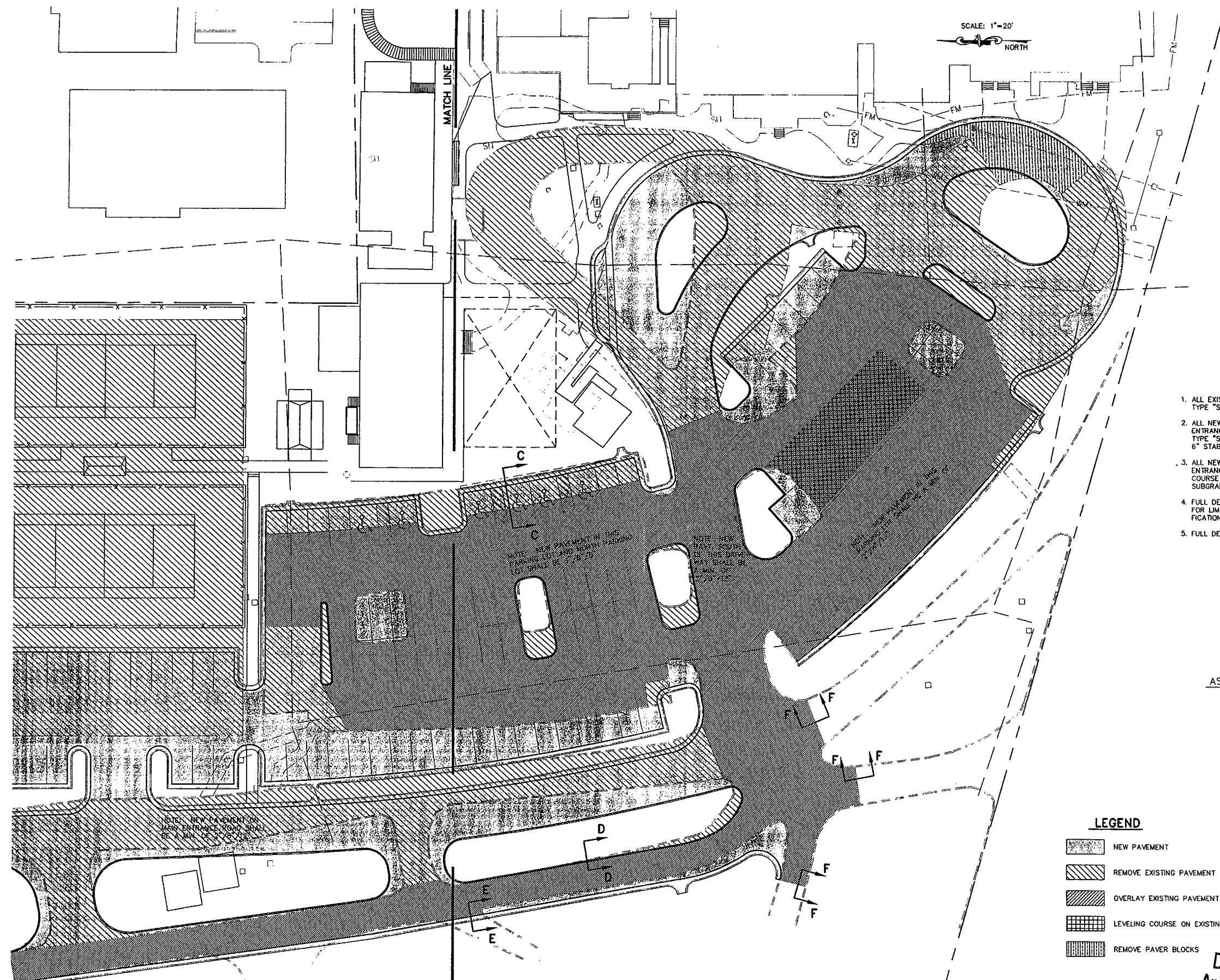
NAME	DATE
DESIGNED JWE	4-03-96
DRAWN DJG	5/30/96
CHECKED JWE	

JOHNSON ENGINEERING, INC.
 ENGINEERS, SURVEYORS AND ECOLOGISTS
 2158 JOHNSON STREET, P.O. BOX 1550, FORT MYERS, FLORIDA 33902-1550
 PHONE (941) 334-0046 FAX (941) 334-3651

**SOUTH SEAS PLANTATION
 TENNIS COURT AND PARKING
 LOT IMPROVEMENTS**

**PAVEMENT REMOVAL
 AND OVERLAY PLAN**

APPROVAL SUBMITTAL SET - NOT FOR CONSTRUCTION



LEGEND

1. ALL EXISTING PAVEMENT TO REMAIN SHALL RECEIVE A 1" MINIMUM TYPE "S" OVERLAY.
2. ALL NEW PAVEMENT IN PARKING AREAS TO THE LEFT OF MAIN ENTRANCE TO CHADWICKS PARKING AREA SHALL RECEIVE A 1" TYPE "S" SURFACE COURSE OVER A 6" LIMEROCK BASE OVER 6" STABILIZED SUBGRADE.
3. ALL NEW PAVEMENT ON ENTRANCE ROAD AND TO THE RIGHT OF MAIN ENTRANCE TO CHADWICKS SHALL RECEIVE A 2" TYPE "S" SURFACE COURSE OVER AN 8" LIMEROCK BASE OVER A 12" STABILIZED SUBGRADE.
4. FULL DEPTH ASPHALT BASE COURSE (ABC) MAY BE SUBSTITUTED FOR LIMEROCK AND / OR STABILIZED SUBGRADE PER FDOT SPECIFICATIONS AT THE OWNER'S OPTION TO EXPEDITE CONSTRUCTION.
5. FULL DEPTH ASPHALT (ABC) REQUIRED IN AREAS LESS THAN 8' WIDE.

ASPHALT BASE COURSE EQUIVALENTS

- 6" LIMEROCK = 4" ASPHALT BASE COURSE
- 8" LIMEROCK = 5" ASPHALT BASE COURSE

LEGEND

- NEW PAVEMENT
- REMOVE EXISTING PAVEMENT
- OVERLAY EXISTING PAVEMENT
- LEVELING COURSE ON EXISTING PAVEMENT
- REMOVE PAVER BLOCKS

JUL 30 2002

APPROVED
Master Concept Plan

Site Plan • SSRMDP Page 36 of 36
Subject to conditions in Resolution 73-202
Case • ADD2002-00098

D.S.O.
Approved

John S. 7-2-06
**PAVEMENT REMOVAL,
AND OVERLAY PLAN**

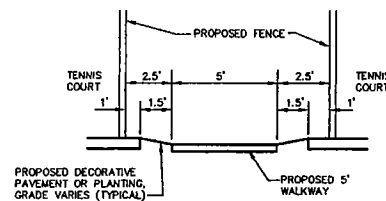
05-30-1996 DJG 21057A10.DWG

DATE		BY		DESCRIPTION		DATE		BY		DESCRIPTION		DATE		BY		DESCRIPTION	

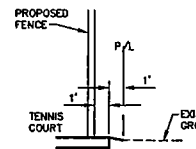
DESIGNED	NAME	DATE
JWE	JWE	4-03-96
DRAWN	NAME	DATE
DJG	DJG	5/30/96
CHECKED	NAME	DATE
JWE	JWE	

JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS
2158 JOHNSON STREET, P.O. BOX 1550, FORT MYERS, FLORIDA 33902-1550
PHONE (941) 334-0046 FAX (941) 334-3681

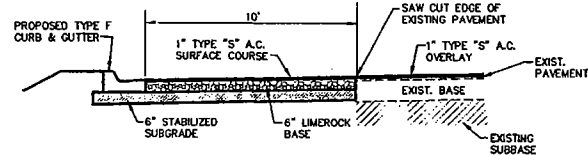
**SOUTH SEAS PLANTATION
TENNIS COURT AND PARKING
LOT IMPROVEMENTS**



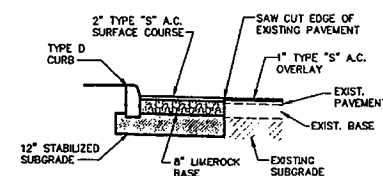
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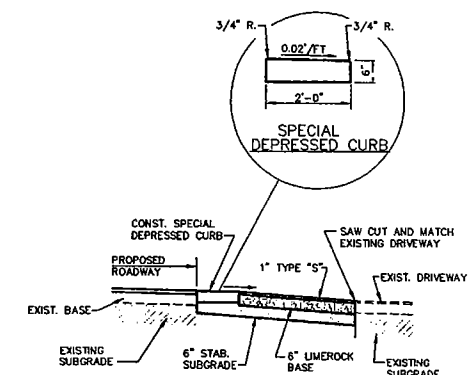
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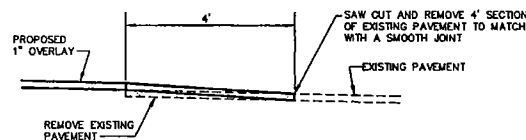
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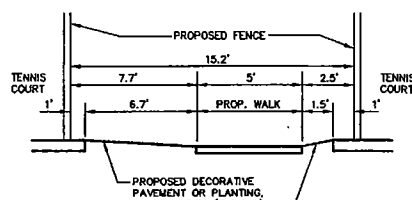
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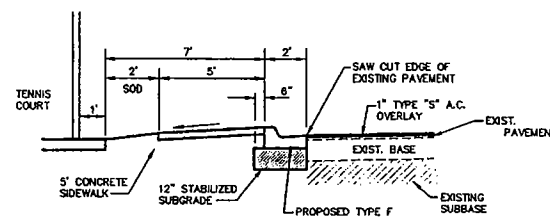
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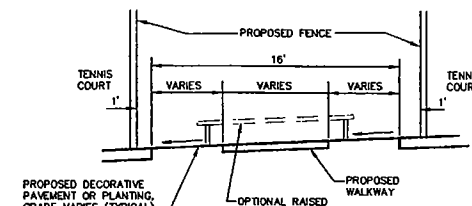
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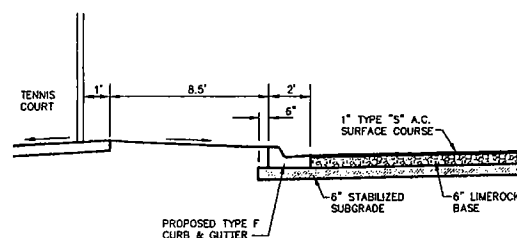
SECTION G-G



SECTION H-H



SECTION I-I



SECTION J-J

JUL 30 2002
APPROVED
Master Concept Plan
Site Plan • SSRMDP Page 37 of 37
Subject to conditions in Resolution 2-73-2002
Case • ADD 2002-00098

D.S.O.
Approved

7-2-54

TOTAL SET - NOT FOR CONSTRUCTION

REVISIONS							
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY

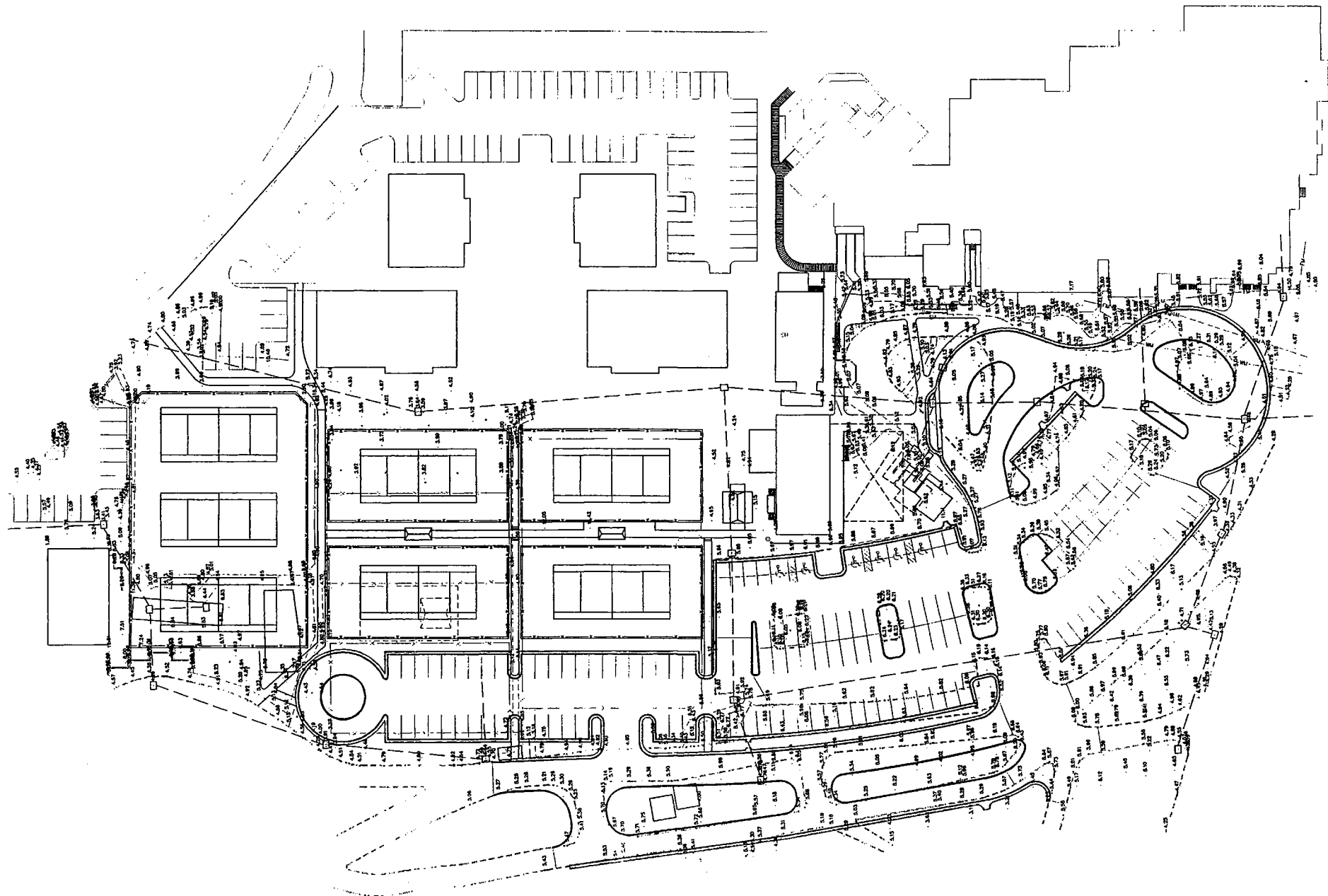
NAME	DATE
DESIGNED JWE	5/25/96
DRAWN DJG	5/28/96
CHECKED JWE	

JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS
2158 JOHNSON STREET, P.O. BOX 1550, FORT MYERS, FLORIDA 33902-1550
PHONE (941) 334-0048 FAX (941) 334-3681

SOUTH SEAS PLANTATION
TENNIS COURT AND PARKING
LOT IMPROVEMENTS

DETAILS

SCALE: 1"=40'
NORTH



JUL 30 2002
APPROVED
Master Concept Plan
Site Plan - SRMDP Page 38 of 40
Subject to conditions in Resolution 2-73-202
Case # ADD2002-00098

D.S.O.
Approved

Jim S. 7-2-06

REVISIONS													NAME	DATE
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DESIGNED	JWE	3-25-96
												DRAWN	LSH	4/20/96
												CHECKED		

DESIGNED	JWE	3-25-96
DRAWN	LSH	4/20/96
CHECKED		

JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS
2158 JOHNSON STREET, P.O. BOX 1950, FORT MYERS, FLORIDA 33902-1950
PHONE (941) 334-0048 FAX (941) 334-3661

ENTRANCE AREA
SITE IMPROVEMENTS

EXISTING TOPOGRAPHY

9-21-94 - 94-08-042.12L



Lee
COUNTY

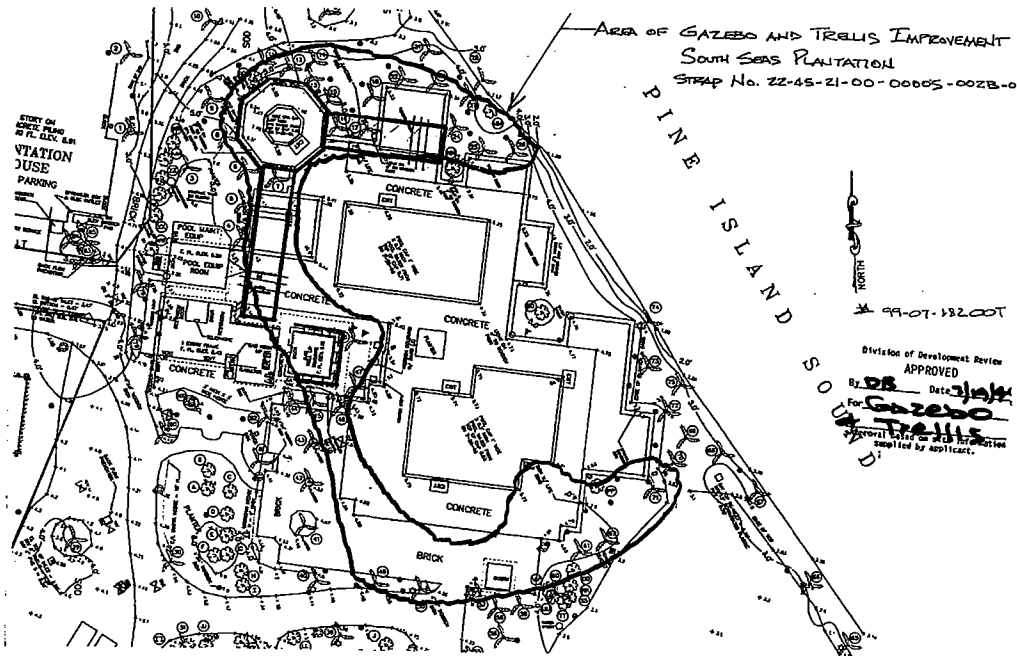
[illegible]

JUL 30 2002
APPROVED
Master Concept Plan
Site Plan # SSRMDP Page 39 of
Subject to conditions in Resolution E-73-202
Case # ADD2002-0009B

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REVISIONS												

GAZEBO AND TRELLIS

7-19-99 - 99-07-182.00T



JUL 30 2002
APPROVED
Master Concept Plan
Site Plan - SS RMDP Page 42 of 42
Subject to conditions in Resolution 2-73-202
Case # ADD 2002-00018

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REVISIONS		

Captiva Island
Lee County, Florida

JOHNSON
ENGINEERING

3501 DEL PRADO BLVD.
SUITE 110
CAPE CORAL, FLORIDA 33904
PHONE (941) 334-0046
FAX (941) 541-1383
E.B. #642 & L.B. #642

2001 Master Concept Plan
South Seas Resort

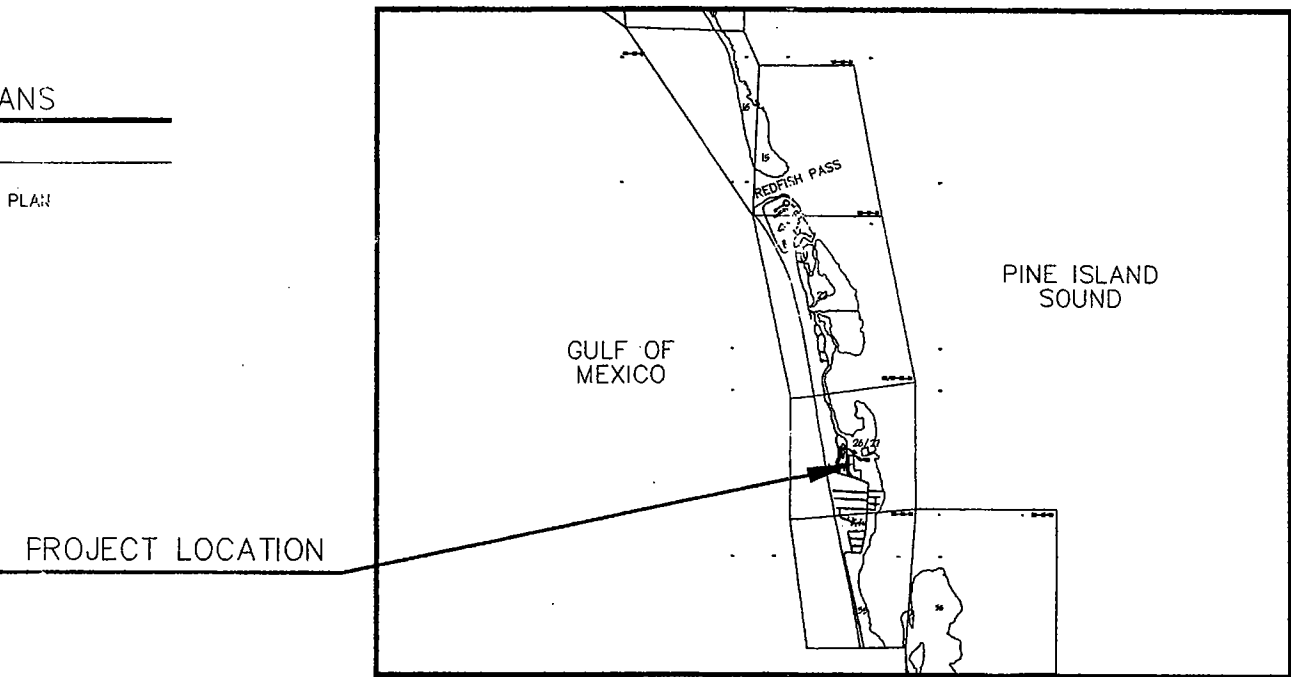
DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
June 2001	20012664	22-45-21	As Shown	

CONSTRUCTION PLANS FOR SOUTH SEAS PLANTATION PROPOSED ACTIVITY AREA

SECTION 26, TOWNSHIP 45 S., RANGE 21 E.
LEE COUNTY, FLORIDA

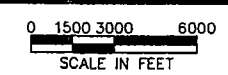
INDEX OF PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GRADING & DRAINAGE PLAN



PROJECT LOCATION

LOCATION MAP



PREPARED BY

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

2158 JOHNSON STREET
POST OFFICE BOX 1550
FORT MYERS, FLORIDA 33902
PHONE (813) 334-0046
FAX (813) 334-3661

J.E.I. PROJECT NO. 21057

JUNE 1996



OWNER

MERISTAR SS PLANTATION COMPANY, L.L.C.
1010 WISCONSIN AV. NW.
WASHINGTON D.C. 2007

DEVELOPER

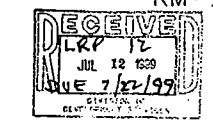
MERISTAR
12800 UNIVERSITY DRIVE, SUITE 350
FT. MYERS, FLORIDA 33907
CELL PHONE: (941) 851-2554
FAX: (941) 481-6667

STRAP NUMBER

26-45-21-00-00001.2020

ZONING

RM-2



PROJECT # 99-07-093-12L
PROJECT TYPE 42

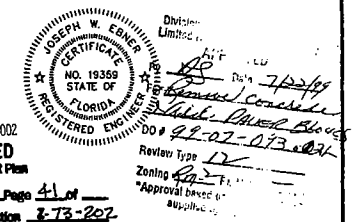
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19359

Joseph W. Ebner
JOSEPH W. EBNER

DATE 7/15/96
JUL 30 2002

APPROVED
Master Concept Plan

Site Plan: SSRMDP Page 41 of 41
Subject to conditions in Resolution 2-73-202
Case # ADD2002-00098

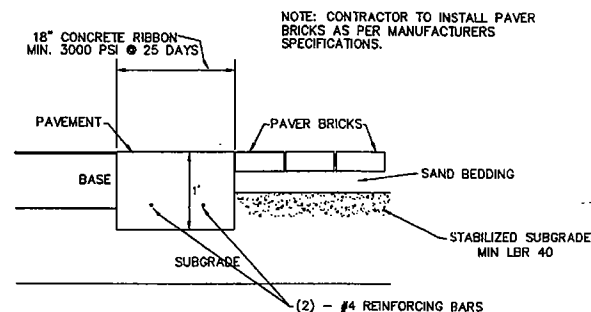


LAND COVERAGE SUMMARY TABLE

PROPOSED PAVER BLOCK AND WALK	4,896 S.F.
EXISTING PAVEMENT TO BE REMOVED	3,168 S.F.
EXISTING PAVER BLOCK TO BE REMOVED	1098 S.F.
EXISTING BUILDING TO BE REMOVED	630 S.F.

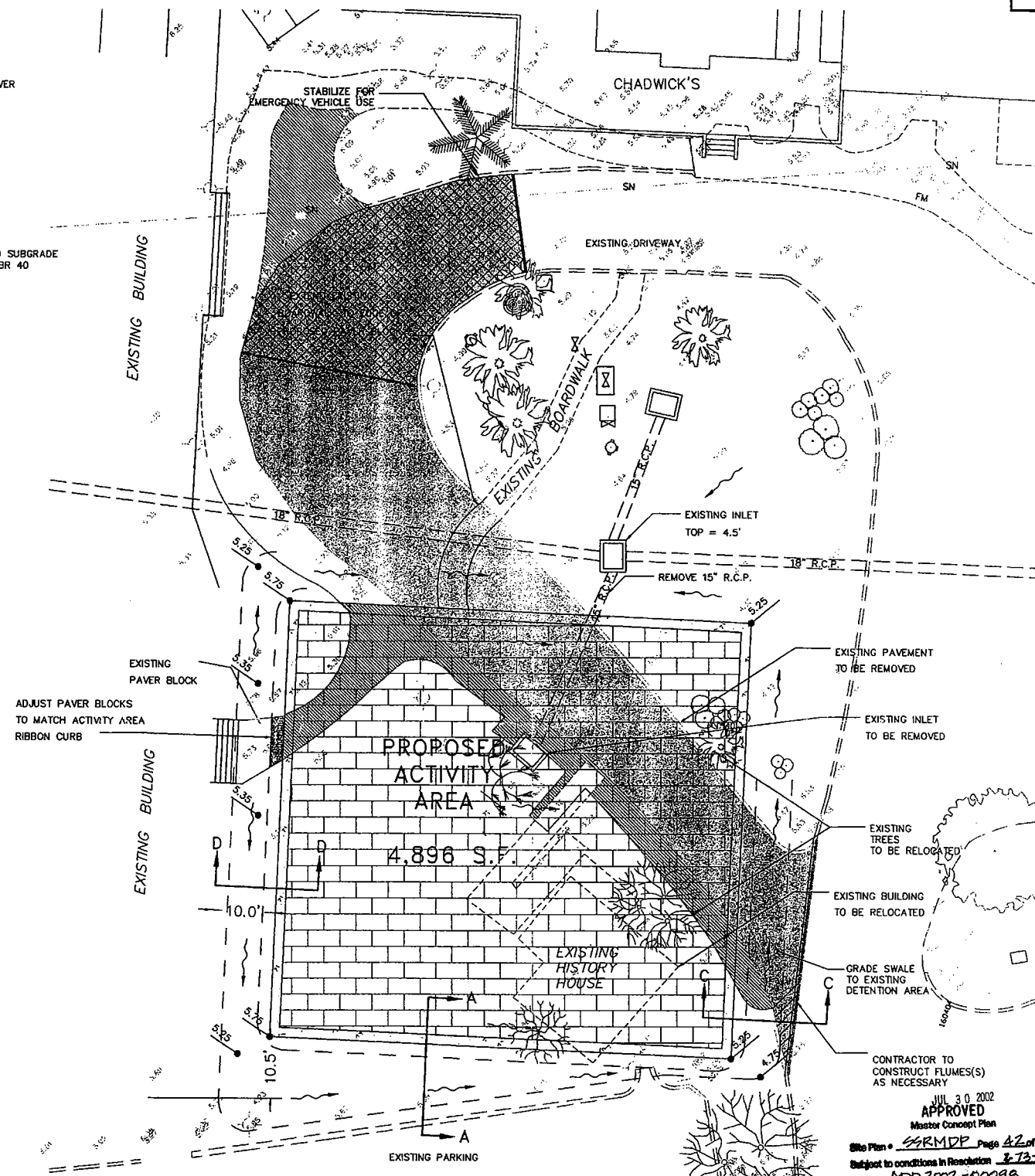
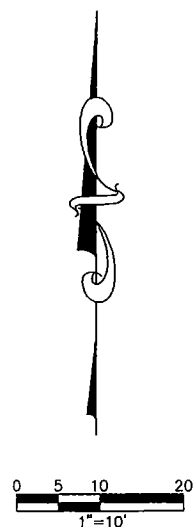
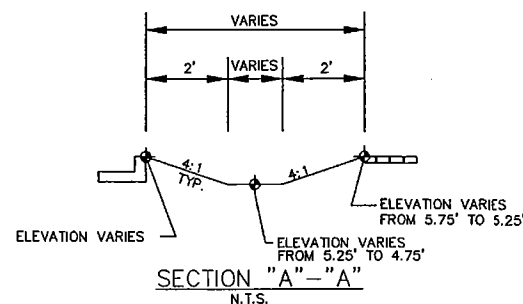
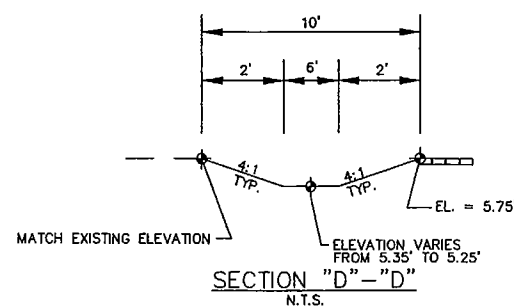
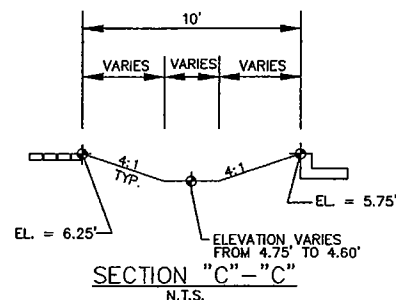
TOTAL PROPOSED IMPERVIOUS COVERAGE	4,896 S.F.
TOTAL IMPERVIOUS REMOVED	4,896 S.F.

NET IMPERVIOUS AREA ADDED = 0 S.F.



BRICK PAVER INSTALLATION

N.T.S.



- LEGEND
- EXISTING POWER POLES
 - EXISTING INLET
 - EXISTING FIRE HYDRANT
 - EXISTING VALVE

- PAVEMENT REMOVAL KEY
- PROPOSED PAVER BLOCK
 - REMOVE PAVEMENT
 - REMOVE PAVER BLOCK
 - STABILIZED EMERGENCY VEHICLE ACCESS

D.S.O.
Approved

CONTRACTOR TO CONSTRUCT FLUMES(S) AS NECESSARY
JUL 30 2002
APPROVED
Master Concept Plan
Site Plan • SRMDP Page 42 of 42
Subject to conditions in Resolution 2-73-202
Case # ADD 2002-00098

REVISIONS								NAME		JOHNSON ENGINEERING, INC. ENGINEERS, SURVEYORS AND ECOLOGISTS 18501 MURDOCK CIRCLE, SUITE 404, PORT CHARLOTTE, FLORIDA 33948 PHONE (941) 825-9819 FAX (941) 625-3269	GRADING AND DRAINAGE PLAN
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE		

HISTORY HOUSE

9-8-2000 - (HD)ADD2000-0068 - RELOCATION

ADMINISTRATIVE APPROVAL (HD) ADD2000-0068

ADMINISTRATIVE APPROVAL
HISTORIC DISTRICT
LEE COUNTY, FLORIDA

WHEREAS, Meristar-South Seas Plantation Co., LLC/Beach Villas II filed an application for administrative approval for administrative relief on a project known as Captiva History House at South Seas to allow the History House to be relocated within South Seas Plantation property; and

WHEREAS, the History House will be relocated to the south end of resort near the administration building, described more particularly as:

LEGAL DESCRIPTION: In Section 26, Township 45 South, Range 21 East, Lee County, Florida:

See Legal Description (Attached as Exhibit A)

WHEREAS, the applicant has indicated the property's current STRAP number is 26-45-21-26-00000.000A; and

WHEREAS, the property is zoned RM-2; and

WHEREAS, the Captiva History House has been designated as a Lee County Historic Resource by Resolution HD-10-02; and

WHEREAS, an application for administrative relief for designated historic resources has been filed pursuant to the Lee County Land Development Code Section 22-174; and

WHEREAS, the Lee County Historic Preservation Board met on November 18, 1999 and reviewed the requested relief and issued Special Certificate of Appropriateness (SCA) No.99-11-03 (a copy of which is attached), Chapter 22 of the Land Development Code and the Lee County Historic Preservation program in general; and

WHEREAS, the Lee County Land Development Code provides for administrative relief from the Zoning Regulations for matters involving setbacks, lot width, depth, area requirements, land development regulations, height limitations, open space requirements, parking requirements, and other similar zoning relief not related to a change in use of the property in question; and

WHEREAS, relief is requested in the RM-2 zoning district, as provided by the Lee County Land Development Code, as follows:

- Section 34-2020(4)m that requires museums to provide 1 space per 300 square feet of floor area, to only require the handicapped space; and
- Section 34-715 which requires a 25 foot wide water body setback to allow a 7 foot setback for the History House; and
- Section 34-715 which requires a 20 foot wide setback from a private road, to allow a 2 1/2 foot setback for the proposed wood deck and relocated History House; and

CASE NO. ADD2000-0068

Page 1 of 2

- Section 34-1174(3)e that prohibits structures in easements, to allow the proposed wooden deck to encroach 1 foot into the right-of-way easement, known as South Seas Plantation Road.

WHEREAS, the subject application and plans have been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval; and

WHEREAS, the following findings of fact are offered:

- The relief will be in harmony with the general appearance and character of the community.
- The relief will not be injurious to the area involved or otherwise detrimental to the public health, safety or welfare.
- The proposed work is designed and arranged on the site in a manner that minimizes aural and visual impact on the adjacent properties while affording the owner(s) a reasonable use of their land.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for Administrative Approval for relief in the RM-2 zoning district from the Lee County Land Development Code, from:

- Section 34-2020(4)m that requires museums to provide 1 space per 300 square feet of floor area, to only require the handicapped space; and
- Section 34-715 which requires a 25 foot wide water body setback to allow a 7 foot setback for the History House; and
- Section 34-715 which requires a 20 foot wide setback from a private road, to allow a 2 1/2 foot setback for the proposed wood deck and relocated History House; and
- Section 34-1174(3)e that prohibits structures in easements, to allow the proposed wooden deck to encroach 1 foot into the right-of-way easement, known as South Seas Plantation Road

is APPROVED. Site Plan ADD2000-0068 is hereby APPROVED and adopted. A reduced copy is attached hereto.

DULY SIGNED this 8th day of September, A.D., 2000.

BY: Mary Gibbs
Mary Gibbs, Director
Department of Community Development

Attachments: SCA 99-11-03
Site Plan ADD2000-0068

CASE NO. ADD2000-0068

Page 2 of 2

EXHIBIT A
JOHNSON ENGINEERING, INC.

PORT MYERS
NAVES
PORT CHARLOTTE

2108 JOHNSON STREET
TELEPHONE (941) 334-0046
FAX (941) 334-1383
POST OFFICE BOX 1550
PORT MYERS, FLORIDA
33901-1550

CARL E. JOHNSON
01/1/98

May 15, 2000

DESCRIPTION

HISTORY HOUSE, SOUTH SEAS PLANTATION
SECTION 26, TOWNSHIP 45 SOUTH, RANGE 21 EAST
CAPTIVA ISLAND, LEE COUNTY, FLORIDA

A tract or parcel of land lying in Section 26, Township 45 South, Range 21 East, being a part of South Seas Plantation Beach Villas II Condominium as described in Deed recorded in Official Record Book 1230 at Page 987 of the Public Records of Lee County, Florida, which tract or parcel is described as follows:

From the southeast corner of said Beach Villas II Condominium run S 84° 02' 33" W along the south line of said Beach Villas II Condominium for 28.66 feet; thence run N 05° 57' 27" W departing said south line (at a perpendicular to) for 28.36 feet to

the Point of Beginning.

From said Point of Beginning run N 81° 31' 00" W for 57.89 feet; thence run N 01° 14' 16" E for 68.43 feet; thence run S 81° 31' 00" E for 61.84 feet; thence run S 04° 32' 09" W for 68.04 feet to the Point of Beginning.

Parcel contains 4,064 square feet, more or less.

SUBJECT TO easements, restrictions and reservations of record.

Bearings hereinabove mentioned are based on the south line of Beach Villas II Condominium as described in Official Record Book 1230 at Page 987 of said public records to bear S 84° 02' 33" W.

Michael W. Northan
Michael W. Northan (For The Firm LB-642)
Professional Surveyor and Mapper
Florida Certificate No. 4500

FORRESTER H. BLANKE
PRESIDENT
STEVEN K. MORRISON

GARY R. BULL
DAN W. DICKER
JOSEPH W. ERNER
ARCHIE T. GRAY JR.
CHRIS D. HAGAN
KENTON R. KELING
PATRICIA M. NEWTON
J. BRITT POWERS
ANDREW D. TILTON
MARK C. WENTZEL
KEVIN M. WINTER

APPROVED
LONNIE V. HOWARD
MICHAEL W. NORTHAN
CERCHIL ROBERTS W.
BARRY E. SYREN

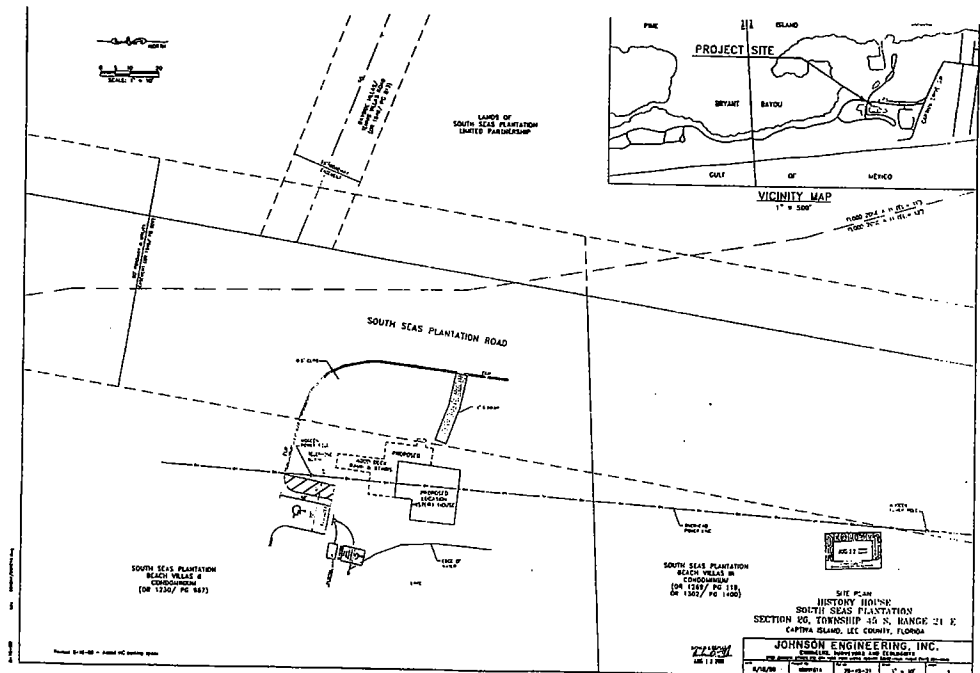
19991614\HistoryHouse-051500

EXHIBIT A

JUL 30 2002

APPROVED
Master Concept Plan

Site Plan - SCA MDP Page 43 of 43
Subject to conditions in Resolution 99-13-002
Case: ADD 2000-00048



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REVISIONS		

Captiva Island
Lee County, Florida

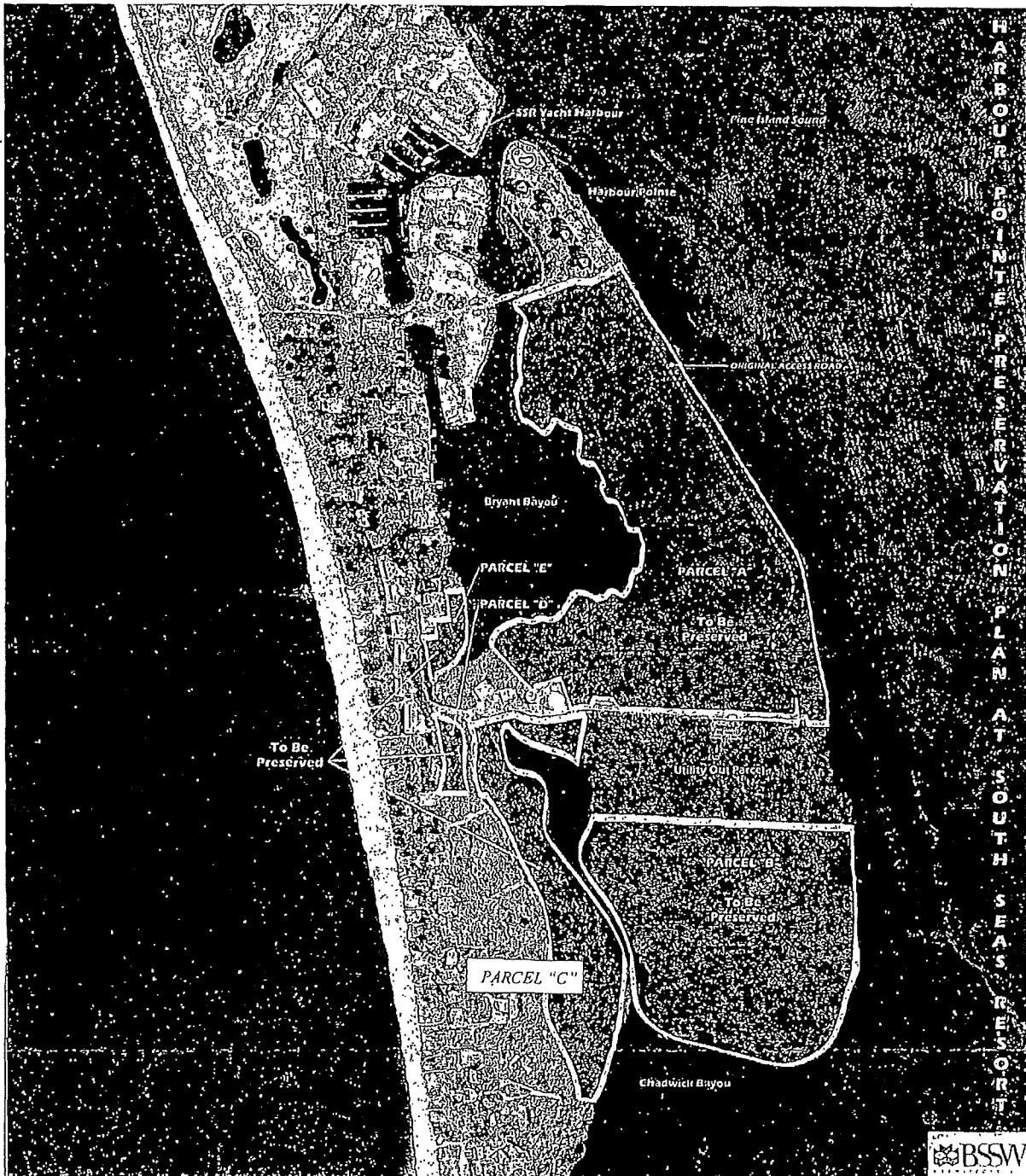
JOHNSON
ENGINEERING

3501 DEL PRADO BLVD.
SUITE 110
CAPE CORAL, FLORIDA 33904
PHONE (941) 334-0046
FAX (941) 541-1383
E.B. #642 & L.B. #642

2001 Master Concept Plan
South Seas Resort

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
June 2001	20012664	22-45-21	As Shown	

EXHIBIT "E"



4/30/08

COMMUNITY DEVELOPMENT

RECEIVED
JUL 01 2008

DCI 2004-00036

PLAN

The following development standards are applicable to the SSRD, based on standards that have been applied since its inception in 1973.

304± acres that make up the SSRD, approximately aside as open space, (this 100+ acres includes now uplands, wetlands, and submerged lands). Additionally, cation of open space for those lands seaward of the tion control line, currently in excess of 15 acres. The Course and other recreational lands supplement the l preservation land categories such that a minimum of oximately 50%) of the overall property is allocated to herefore, no minimum amount of Open Space is ividual parcels.

is will be placed on the use of native species.
r shading and trees and/or shrubs for the screening of
for privacy will be used to the extent possible. The
tion and placement shall be at the discretion of the
n concert with County staff. The use of invasive exotics

be a natural (mostly mangrove) shoreline buffer
aters of the SSRD. Specifically, that natural buffer
mum of 35' wide (except to the extent that the existing
d or Bay Drive (leading to Harbour Pointe) may currently
nd therefore reduce that 35' buffer). Where it is in or
proved development areas, the natural buffer may be
mber of existing small openings as necessary for
ular, boat, pedestrian, and/or utility access, and
ordance with State Standards for Mangrove Trimming
. There is no buffer required along the bay waters
the southeasterly tip of the Harbour Pointe site
s the marina entrance channel and along the bay
h Pass. There shall be no required minimum buffer
lial parcels infernal to the development.

Drive Southwest—minimum 25' to edge of right-of-
as Road—minimum 10' to edge of pavement, excluding
s, signs, walls and other entrance features, when
LDC site visibility requirements.

rs—no minimum setbacks required.

mal Property Line:
i' with minimum 6' high wall and vegetation buffer.
i' with minimum 6' high wall or vegetation buffer.
i' without wall or vegetation buffer.
nal Property Line—no minimum setback required.

Waters:

rs of Gulf of Mexico:

i' from mean high tide line.
ral or Manmade Lake, Pond, Bayou, Canal, or Marina:
i setback required for buildings redeveloped within
ding footprints; 25' for any new buildings.

ling Separation:
i' separation unless additional separation is required
Fire Code.

ures including Fences and Walls:

structures 8' or less in height above grade; no minimum
ired.

structures over 8' in height from grade, the setback
same as set forth above for buildings, except as to
where there will be no setbacks required.

be no minimum required separation between walls and
ructures or one accessory structure and another.

- e. **Building Heights:** (These standards are applicable to all new structures except those being replaced under the existing Lee County build-back provisions of the Land Development Code or LEE PLAN). Maximum height to the top of a parapet wall, roof, or midpoint of a pitched roof of no less than 4:1 and no more than 7:1 shall be the lesser of 35' above the grade surrounding the building at its foundation or 42' above mean sea level.
- f. **Traffic Impact Statements (TIS):** A traffic statement shall be required for any development that includes new residential dwelling units or includes more than 500 square feet of retail/commercial square footage. Because of the SSRD's vested status for purposes of concurrency (established via Determination of Consistency with the Lee Plan in 1985), the data provided to the County in such TIS are intended for information purposes only. Approval of TIS is not a prerequisite to approval of proposed development plans. The concurrency vesting is limited to the SSRD, as approved under this Interpretation.
- g. **Parking:** These standards recognize the developers long standing commitments to transportation alternatives to the automobile on Captiva, including pedestrian and bicycle transportation via the pathways provided throughout the SSRD and the provision of up to 18 hours of daily free tram service.

General:

- Individual parking spaces will be no less than 9' wide by 18' deep.
- The appropriate number of handicap spaces will be provided in convenient locations in compliance with Lee County and State of Florida Handicapped Codes and the intent of ADA Guidelines.
- Any proposed reduction or reconfiguration of the as-built/as approved parking spaces provided contemporaneous to this Interpretation, is subject to a limited review development order to assure that the current inventory of parking is not reduced and additional parking is provided in the proportions for resort use as required below.

Residential:

- Single family/duplex will have a minimum of 2 off-street parking spaces per unit.
- Multi-family housing (whole ownership/timeshare/etc.) will have a minimum of 1 parking space per dwelling unit plus a minimum of 1 guest/service parking space for every 10 dwelling units.
- Hotel/Motel units and employee rental apartments shall have a minimum of 1 parking space for every 2 dwelling units plus 1 guest/service parking space for every 10 dwelling units.

Commercial:

- Activities/Facilities internal to the resort and used almost exclusively by resort owners and guests (i.e. marina, golf course, tennis, retail, resort area restaurants, conference facilities, etc.) have no minimum required number of spaces.
- Commercial Area at the south end of the property, except for conference facilities, shall be required to provide a minimum 1 parking space per 1000 square feet of retail, restaurant/lounge or commercial use (excluding kitchens and other "back of the house" areas and service facilities).

h. Construction Standards (other than for buildings):

- Roads, driveways, walks, bike paths, seawalls, in accordance with sound engineering design s those facilities constructed within the SSRD dur years, subject to review and approval by Count limited review development order process.

i. Stormwater Management:

- The standards of the existing approved SSRMDF and permitted by the South Florida Water Mana or as they may be amended in the future, shc surface water management elements of future SSRD.

j. Other:

- Except as noted herein, the applicable standard Land Development Code shall apply.