

RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS
OF LEE COUNTY, FLORIDA

WHEREAS, an application was filed by property owner, Lee Health Ventures, Inc. d/b/a HealthPark Florida, on behalf of the property owners: Phoenix Health Ventures, LLP; Lee Memorial Hospital, Inc.; American Properties @ Monterrey, LLC; and Lee Health Ventures, Inc., d/b/a HealthPark Florida; to amend the HealthPark Florida Commercial Planned Development (CPD) in reference to HealthPark CPD Amendment (HealthPark Florida East); and

WHEREAS, a public hearing was advertised and held on January 11, 2001, before the Lee County Zoning Hearing Examiner, who gave full consideration to the evidence in the record for Case #DCI2000-00054; and

WHEREAS, a second public hearing was advertised and held on March 19, 2001 before the Lee County Board of Commissioners, who gave full and complete consideration to the recommendations of the staff, the Hearing Examiner, the documents on record and the testimony of all interested persons.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS:

SECTION A. REQUEST

The applicant filed a request to amend the HealthPark Florida CPD to add two additional access points onto Bass Road on the east side, and to amend the sign package to incorporate development of HealthPark Florida East, amending only that portion of the original CPD located on the east side of Bass Road. The property consists of 211± total acres of land and is located in the Urban Community & Resource Protection Land Use Category and legally described in attached Exhibit A. The request is APPROVED, SUBJECT TO the conditions and deviations specified in Sections B and C below.

SECTION B. CONDITIONS:

All references to uses are as defined or listed in the Lee County Land Development Code (LDC).

1. The development of this project must be consistent with the two page Amended Master Concept Plan (MCP) entitled "Health Park, Florida," stamped "Received Oct 19 2000," last revised September 21, 2000 and the Amended Campus Signage Plan for HealthPark Florida, dated September, 2000, stamped "Received Oct 19 2000," and attached as Exhibit "D" in this resolution, except as either may be modified by conditions below.

2. The terms and conditions of the original resolution, Resolution Z-98-011, as amended or corrected, remain in full force and effect except as otherwise modified herein. No changes to the intensity of the development nor to the adopted Schedule of Uses are made by the subject request.
3. The Property Development Regulations previously approved in Condition 3 of Resolution Z-98-011, as amended or corrected, remain in full force and effect.
4. The developer's Notice of Proposed Change to the HealthPark Development of Regional Impact (DRI) Development Order to revise the Master Plan of Development (Map H) to reflect the addition of two access points along Bass Road must be diligently pursued by the developer and result in an amended DRI Development Order by December 31, 2001. Failure to amend the DRI Development Order Master Plan of Development as described above will render the access points inconsistent with the DRI approvals.
5.
 - a. Approval of the Access Point #3 on the MCP will be limited to right-in/right-out only, and not a full median opening.
 - b. Access Point #1 is approved at the depicted location on the MCP, but the proposed full median opening at this location is not approved at this time. This condition is not intended to prohibit full turning movements at Access Point #1 while Bass Road is two laned, but final approval of those turning movements will be made during the development review process. The request for the full median opening will be further evaluated at the time of future extension of Bass Road to the north, or at the time of the needs assessment and roadway design for the future four laning of Bass Road to Gladiolus Drive.
6. Transportation mitigation must be provided as outlined in the DRI Development Order. However, site-related improvements and additional conditions may be required at the time of local development order in accordance with the provisions of the LDC.
7. This development must comply with all of the requirements of the LDC at the time of local development order approval, except as may be granted by deviations approved as part of this planned development. If changes to the MCP are subsequently pursued, appropriate approvals will be necessary.
8. Approval of this rezoning does not give the Developer an undeniable right to receive local development order approval. Future development order approvals must satisfy the requirements of the Lee Plan Planning Communities Map and Acreage Allocations Table, Map 16 and Table 1(b).
9. Prior to local development order approval, the developer must provide a joint access easement agreement relating to Access Point #1 that will allow access for the property to the north. The joint access easement agreement must be acceptable to Lee County.

SECTION C. DEVIATIONS:

1. Deviations 1, 4, 5, 6, and 7 were previously withdrawn by the Applicant during the original zoning action. No changes are proposed for Deviations 2, 3, 8, 9, 10 and 11.
2. Deviation (12) seeks relief from LDC § 10-285(a), Table 1, the minimum intersection connection separation requirement of 660 feet, to allow two intersection connection separations of 649 feet for Access Point #3. This deviation is APPROVED, SUBJECT TO Condition 5 above.

SECTION D. EXHIBITS:

The following exhibits are attached to this resolution and incorporated by reference:

- Exhibit A: The legal description and STRAP number of the property
Exhibit B: Zoning Map (subject parcel identified with shading)
Exhibit C: The Master Concept Plan
Exhibit D: Amended Campus Signage Plan for HealthPark Florida

SECTION E. FINDINGS AND CONCLUSIONS:

1. The applicant has proven entitlement to the rezoning by demonstrating compliance with the Lee Plan, the LDC, and any other applicable code or regulation.
2. The rezoning, as approved:
 - a. meets or exceeds all performance and locational standards set forth for the potential uses allowed by the request; and,
 - b. is consistent with the densities, intensities and general uses set forth in the Lee Plan; and,
 - c. is compatible with existing or planned uses in the surrounding area; and,
 - d. will not place an undue burden upon existing transportation or planned infrastructure facilities and will be served by streets with the capacity to carry traffic generated by the development; and,
 - e. will not adversely affect environmentally critical areas or natural resources.
3. The rezoning satisfies the following criteria:
 - a. the proposed use or mix of uses is appropriate at the subject location; and
 - b. the recommended conditions to the concept plan and other applicable regulations provide sufficient safeguard to the public interest; and

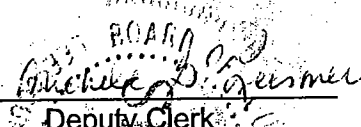
- c. the recommended conditions are reasonably related to the impacts on the public interest created by or expected from the proposed development.
4. Urban services, as defined in the Lee Plan, are, or will be, available and adequate to serve the proposed land use.
5. The approved deviations, as conditioned, enhance achievement of the planned development objectives, and preserve and promote the general intent of LDC Chapter 34, to protect the public health, safety and welfare.

The foregoing resolution was adopted by the Lee County Board of Commissioners upon the motion of Commissioner Ray Judah, seconded by Commissioner Robert P. Janes and, upon being put to a vote, the result was as follows:

Robert P. Janes	Aye
Douglas R. St. Cerny	Aye
Ray Judah	Aye
Andrew W. Coy	Aye
John E. Albion	Absent

DULY PASSED AND ADOPTED this 19th day of March, 2001.

ATTEST:
CHARLIE GREEN, CLERK

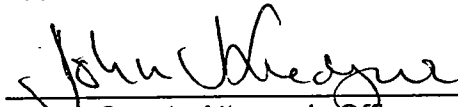
BY: 
Deputy Clerk



BOARD OF COUNTY COMMISSIONERS
OF LEE COUNTY, FLORIDA

BY: 
Chairman

Approved as to form by:


County Attorney's Office

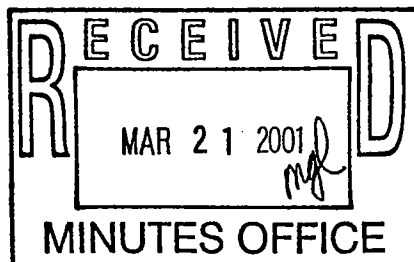


EXHIBIT "A"
LEGAL DESCRIPTION
Property located in Lee County, Florida



SINCE 1946

November 21, 2000

DESCRIPTION
OVERALL HEALTHPARK FLORIDA
SECTION 33, T. 45 S., R. 24 E.
AND SECTION 4, T. 46 S., R. 24 E.
LEE COUNTY, FLORIDA

The South half (S-1/2) of the Southwest quarter (SW-1/4) less and except the east 75.00 feet thereof for Bass Road as described in Deed recorded in Official Record Book 2413 at Page 2522, Public Records of Lee County, Florida; and

The South half (S-1/2) of the Southeast quarter (SE-1/4) lying Northwesterly of right-of-way (ROW) for Summerlin Road (C.R. 869) less and except the west 75.00 feet thereof for Bass Road as described in Deed recorded in Official Record Book 2413 at Page 2522, Public Records of Lee County, Florida, Section 33, Township 45 South, Range 24 East.

AND

The North half (N-1/2) of the Northwest quarter (NW-1/4) less and except the east 75.00 feet thereof for Bass Road as described in Deed recorded in Official Record Book 2209 at Page 2942, Public Records of Lee County, Florida; and

The North half (N-1/2) of the South half (S-1/2) of the Northwest quarter (NW-1/4) less and except the east 75.00 feet thereof for Bass Road as described in Deed recorded in Official Record Book 2209 at Page 2942, Public Records of Lee County, Florida; and

The South half (S-1/2) of the South half (S-1/2) of the Northwest quarter (NW-1/4) lying Northerly of ROW for Summerlin Road (C.R. 869) less and except the east 75.00 feet thereof for Bass Road as described in Deed recorded in Official Record Book 2209 at Page 2942, Public Records of Lee County, Florida; and

The North half (N-1/2) of the Southwest quarter (SW-1/4) lying Northwesterly of ROW for Summerlin Road (C.R. 869); and

The West half (W-1/2) of the Northeast quarter (NE-1/4) lying Northwesterly of ROW for Summerlin Road (C.R. 869) less and except the west 75.00 feet thereof for Bass Road as described in Deed recorded in Official Record Book 2209 at Page 2942, Public Records of Lee County, Florida; and

The East half (E-1/2) of the Northeast quarter (NE-1/4) lying Northwesterly of ROW for Summerlin Road (C.R. 869), Section 4, Township 46 South, Range 24 East, Lee County, Florida.

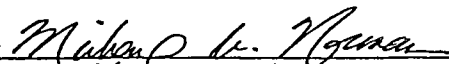
Parcel contains 390.7 acres, more or less.

FILE COPY

20002184\OverallDescription-112100

Applicant's Legal Checked

by Jm 11/28/00


Michael W. Norman (For The Firm LB-642)
Professional Surveyor and Mapper
Florida Certificate No. 4500

DCI 2000-00054

The applicant has indicated that the STRAP numbers for the subject property are:
33-45-24-00-00003.0010; 33-45-24-00-00003.0020; 04-46-24-00-00010.0000; and
04-46-24-00-00002.0000.

ZONING MAP

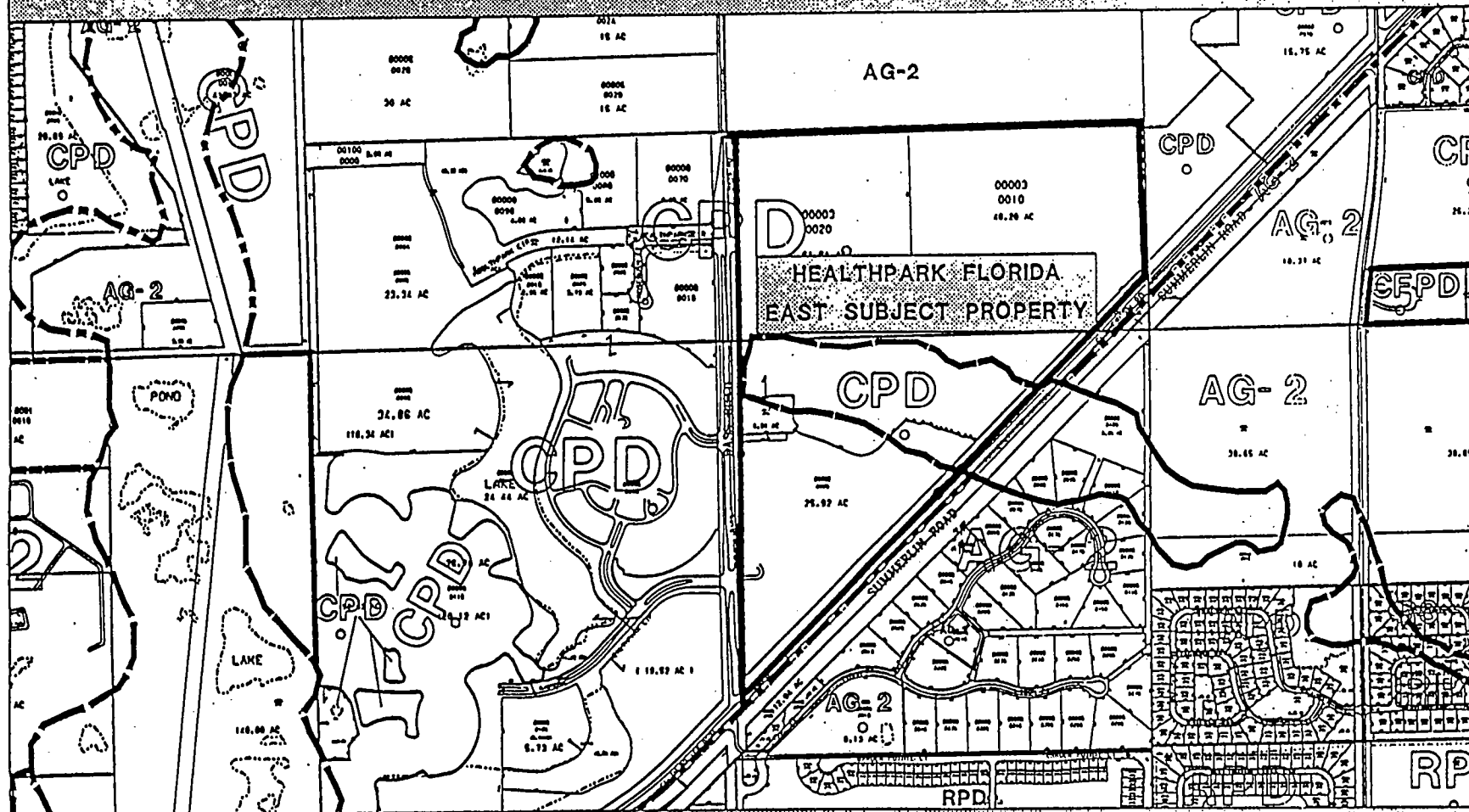


EXHIBIT "B"



Healing
Pulse

JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS
2536 JOHNSON STREET, P.O. BOX 1330, FORT MYERS, FLORIDA 33902-1330. PHONE (813) 334-7040

PROJECT NO.	SHEET NO.	SCALE	SHEET
19293	33-45-24	1" = 300'	

EXHIBIT "C"
MASTER CONCEPT PLAN
(Page 1 of 2)

OPEN SPACE TABLE

OPEN SPACE REQUIRED

180.1 ACRES X 30% (COMMERCIAL)	54.03 ACRES
223.1 ACRES X 40% (METROPOLITAN)	89.24 ACRES
390.7 ACRES	156.3 ACRES

OPEN SPACE PROVIDED

COMMERCIAL PARCELS 180.7 ACRES X 2%	3.61 ACRES
METROPOLITAN PARCELS 293.3 ACRES X 2%	5.87 ACRES
LANDS (TOTAL OF 710.0 ACRES)	74.13 ACRES
WETLANDS	15.95 ACRES
TOTAL OPEN SPACE REQUIRED	156.30 ACRES

[illegible]

RECEIVED
OCT 19 2003

MASTER CONCEPT PLAN EXHIBIT IV-F INCLUDING:

BOUNDARY SKETCH -	EXHIBIT	H-B-2
AREA LOCATION MAP -	EXHIBIT	H-D
EXISTING ZONING / LAND USE -	EXHIBIT	H-F-3
EXISTING EASEMENTS -	EXHIBIT	IV-C
SCHEDULE OF USES -	EXHIBIT	IV-G
SCHEDULE OF DEVIATIONS -	EXHIBIT	IV-H

SCHEDULE OF USES
for
HealthPark CPO

ACCESSORY USES AND STRUCTURES
ACCOMMODATING OFFICES
AIRCRAFT LANDING FACILITIES
ANIMALS CLING (Section 34-1321)
ASSISTED LIVING FACILITY (ALF)
ATM (Automatic Teller Machine)
AUTO PARTS STORE
AUTOMOBILE SERVICE STATION
AUTO REPAIR AND SERVICE [Section 34-622(c)(7)] Limited to garages with general automotive repair and service.
BANK AND TRUST SHOP
BANKS AND FINANCIAL ESTABLISHMENTS [Section 34-622(c)(3)] Groups I and II
BAR OR COCKTAIL LOUNGE [Section 34-1291]
BOATS
BOAT PARTS STORE
BOAT REPAIR
BOAT SALES
BROADCAST STATION, COMMERCIAL RADIO AND TELEVISION [Section 34-1441]
BUILDING MATERIALS SALES [Section 34-622(c)(4)]
BUSINESS SERVICES [Section 34-622(c)(5)] Group I, including but not limited to, collection agencies, credit reporting services.
CAR WASH
CARTAGE/RENTAL RESIDENCE
CLEANING SERVICES, GENERAL [Section 34-622(c)(6)]
CLUBS
COMMERCIAL
FRATERNAL MEMBERSHIP ORGANIZATION [Section 34-2111]
PRIVATE [Section 34-2111]
CONSUMPTION OF PRODUCTS [Section 34-1291] (B CDP's)
CONVENIENCE FOOD AND BEVERAGE STORE
CULTURAL FACILITIES [Section 34-622(c)(10)]
DANCE CENTER, ADULT, CHILD
DEPARTMENT STORE
DRIVE-THROUGH FACILITY FOR ANY PERMITTED USE
DRUGSTORE, PHARMACY
DOWLING UNIT - MULTIPLE FAMILY BUILDING and/or TOWNHOUSE, IN CONNECTION WITH AT LEAST 20,000 S.F. OR MORE OF COMMERCIAL OR LIGHT INDUSTRIAL USES
ESSENTIAL SERVICES [Section 34-1411]
ESSENTIAL SERVICE FACILITIES [Section 34-622(c)(13) and 34-6111], Group I
ELEVATION WATER RETENTION [Section 34-1451]
FACTORY OUTLETS
FENCES, WALLS
FOOD AND BEVERAGE SERVICE, LIMITED
FOOD STORES [Section 34-622(c)(10)] Groups I
FUNERAL HOME OR MORTUARY (with or without cremation)
GIFT AND SOUVENIR SHOP
GROUP QUARTERS
HARDWARE STORE
HEALTH CARE FACILITIES [Section 34-622(c)(20)] All Groups
HOTEL, TOWN, GOLF SHOPS [Section 34-622(c)(7)]
HOTELS
HOTEL / HOTEL
HOUSEHOLD AND OFFICE FURNISHINGS [Section 34-622(c)(22)] All Groups
INSURANCE COMPANIES [Section 34-622(c)(23)]
LAUNDRY
LAUNDRY OR DRY CLEANING [Section 34-622(c)(24)] Group I
LAWN AND GARDEN SUPPLY STORE [Section 34-2091]
LIBRARY
MEDICAL OFFICE
MUSEUM
MODEL DISPLAY CENTER [Section 34-1951]
MODEL UNITS AND CENTERS
NON-STORE RETAILERS [Section 34-622(c)(30)] All Groups
PACKAGE STORE [Section 34-1291]
PAINT, GLASS AND WALLPAPER
PARKS [Section 34-622(c)(32)] Groups I, II and III Subject to Connection or Exhibition Rule
PARKING LOT
PARKING LOT
PERSONAL SERVICES [Section 34-622(c)(33)] All Groups
PET SHOP AND SERVICES
PHARMACY
PLACE OF WORSHIP
PROFESSIONAL OFFICES
REAL ESTATE SALES OFFICE
RECREATION, COMMERCIAL [Section 34-622(c)(34)] All Groups
RECREATIONAL FACILITIES, COMMERCIAL, PERSONAL, PRIVATE, OR PUBLIC POOL ONLY
RELIGIOUS FACILITIES [Section 34-2001]
RENTAL OR LEASING ESTABLISHMENTS [Section 34-622(c)(36)] Group I
REPAIR SHOPS [Section 34-622(c)(40)] Groups I and II
RESEARCH AND DEVELOPMENT LABORATORIES [Section 34-622(c)(41)]
Group I and II
RESIDENTIAL ACCESSORY USES
RESTAURANTS, FAST FOOD
RESTAURANTS [Section 34-622(c)(43)] All Groups
SCHOOLS, COMMERCIAL [Section 34-622(c)(45)] All Groups
SELF-SERVICE FUEL PUMP STATION
SELF-SERVICE FUEL PUMP STATION
SIGNS IN ACCORDANCE WITH APPROVED SIGN PACKAGE DATED
DEC. 1991, AMENDED WITH THIS APPLICATION.
SPECIALTY RETAIL SHOP [Section 34-622(c)(47)] All Groups
STORAGE OPEN AND CLOSED [Section 34-3001]
STORAGE [Section 34-622(c)(49)]
TEMPORARY USES
TOWNHOMES, COMMERCIAL [Section 34-1411] up to 100 feet
TRANSPORTATION SERVICES [Section 34-622(c)(53)] Group I
UNITS OF HIGH IMPACT
USED MERCHANTS STORE [Section 34-622(c)(54)] Groups I, II and III

PROPERTY DEVELOPMENT REGULATIONS
FOR
HEALTHPARK FLORIDA
D-10

USE	MINIMUM LOT DIMENSIONS				MINIMUM STRUCTURAL SETBACKS			
	AREA (S.F.)	DEPTH (FEET)	WIDTH (FEET)	HEIGHT (FEET)	FRONT (FEET)	REAR (FEET)	SIDE (FEET)	BACK (FEET)
RESIDENTIAL	10,000	100	100	15	15	15	15	15
COMMERCIAL	10,000	100	100	15	15	15	15	15
INDUSTRIAL	10,000	100	100	15	15	15	15	15
CO-OPERATIVE	10,000	100	100	15	15	15	15	15
OUTPARCEL	10,000	100	100	15	15	15	15	15

MINIMUM BUILDING SEPARATION DISTANCE: 30 FEET
MINIMUM STRUCTURAL SETBACK: 15 FEET

NOTES:
1. THE SHOWN LOTS SHALL HAVE NO MINIMUM LOT WIDTH BUT SHALL MEET SET AREA REQUIREMENTS.
2. SET LINE SETBACKS SHALL BE 34-622(c)(13), 34-622(c)(14) AND 34-622(c)(15) FOR ACCESSORY STRUCTURAL SETBACKS UNLESS IN COMPLIANCE WITH ABOVE REQUIREMENTS.

GENERAL INFORMATION
HEALTHPARK CPO

TOTAL LAND AREA: 48.5 ACRES

LESS BASE ROAD R/W: 2.5 ACRES

TOTAL DEVELOPMENT AREA: 46.0 ACRES

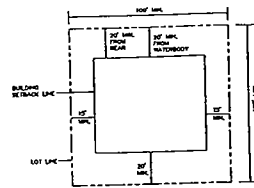
REMARKS: CPO TO AMENDED CPO (SECTION 1)

REMARKS:
FARMING REQUIREMENTS WILL BE WISE IN EFFECT AT THE TIME OF CPO APPROVAL, EXCEPT AS NOTED BY SECTION 6. SUBSEQUENT LOTS STRAIGHT FARMING REQUIREMENTS APPROVED BY LEE COUNTY MAY REPLACE THE FARM FARMING REQUIREMENTS BY SUBSEQUENT APPROVAL BY THE DIRECTOR OF THE DEPARTMENT OF COMMUNITY DEVELOPMENT.

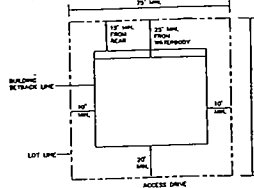
NOTES:
1. IN WETLANDS ADJACENT WITH A MINIMUM HEIGHT OF 10 FEET ABOVE MEAN SEA LEVEL ELEVATION.

OUTPARCELS:
OPTIONAL OUTPARCELS ALLOWED

REMARKS:
HARVEST COMPLY WITH CHAPTER 16 OF LEE COUNTY LAND DEVELOPMENT CODE (SECTION 16-44).

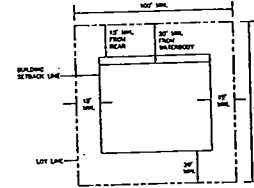


TYPICAL LOT - MULTI-FAMILY



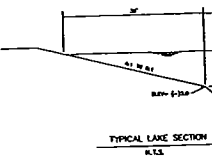
TYPICAL LOT - OUTPARCEL

NOTE: ALL STRUCTURAL SETBACKS TO EXISTING OR PROPOSED ROAD ARE 15' MINIMUM.

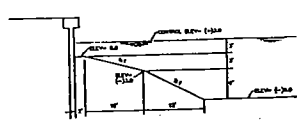


TYPICAL LOT - COMMERCIAL

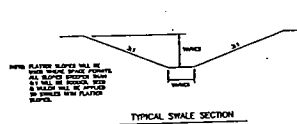
TYPICAL LOTS - HEALTHPARK FLORIDA CPO
NTS



TYPICAL LAKE SECTION
N.T.S.



TYPICAL LAKE SECTION WITH VERTICAL WALL (WALLHEAD)
N.T.S.



TYPICAL SHALE SECTION
N.T.S.

EXHIBIT "C"
MASTER CONCEPT PLAN
(Page 2 of 2)

APPROVED
Master Concept Plan
Page 2 of 2
Date: 10-10-2001
By: JCE/100-00001

RECEIVED
OCT 13 2001
FOR WETLANDS

AMENDED MASTER CONCEPT PLAN

Johnson
Engineering, Inc.

JOHNSON ENGINEERING, INC.
ENGINEERS, SURVEYORS AND ECOLOGISTS

3030 JOHNSON STREET, P.O. BOX 1000, FORT WORTH, TEXAS 76101-1000 (817) 334-0044

DATE: AUGUST 1997 PROJECT NO: 19293 SHEET NO: 33-45-24 AS SHOWN 2

EXHIBIT "D"
SEP 13 2000
PERMANENT RECORDS

**AMENDED
CAMPUS SIGNAGE PLAN
For
HEALTHPARK FLORIDA**

SEPTEMBER 2000

D

Prepared for:

**LEE HEALTH VENTURES, INC.
9800 Health Park Circle, Suite 405
Fort Myers, Florida 33908**

Prepared by:

**JOHNSON ENGINEERING, INC.
2158 Johnson Street
Post Office Box 1550
Fort Myers, Florida 33902-1550**

DCI 2000-00054

Amended Deviation 11
CAMPUS SIGNAGE PLAN FOR HEALTHPARK FLORIDA

PURPOSE AND INTENT

The purpose and intent of this sign package is the same as that set forth in Section 30 of the Land Development Code: To facilitate the implementation of the goals, objectives and policies set forth in the Lee County Comprehensive Plan relating to sign control and protection of areas from incompatible uses; promote convenience, safety property values and aesthetics, by establishing a set of standards for the erection, placement, use and maintenance of signs which will grant equal protection and fairness to all property owners in Lee County; and encourage signs which help to visually organize the activities of the County, land order and meaning to business identification, and make it easier for the public and business delivery systems to locate and identify their destinations.

The attached color-coded Campus Signage System Plan for HealthPark Florida identifies specific coded signs approved in conjunction with a deviation from Section 30-153 of the Land Development Code for the Commercial Planned Development known as HealthPark Florida CPD identified under Case No. 87-3-10-DRI(a), PD-90-018

1. HP-1

- a. A Main HealthPark Florida Campus Identification Sign shall be permitted within the subject property at the Summerlin Road/Bass Rod intersection provided that:

- (1) The sign shall not exceed 300 square feet in area;
- (2) The maximum height of the sign shall be 24 feet;
- (3) The sign may be illuminated with a steady light but shall not be animated; and
- (4) There shall be no setback requirement from the right-of-ways of Summerlin Road and Bass Road.

2. HP-2 and HP-3

(Light Blue)

- a. Monument signs shall be permitted within the subject property at the southwestern corner of the overall site and adjacently west of Bass Road on the north property line, provided that:

- (1) No monument sign shall exceed 105 square feet in area;
- (2) The maximum height of the monument sign shall be 10 feet;
- (3) The monument sign may be illuminated with a steady light but shall not be animated; and
- (4) There shall be no setback requirement from the right-of-ways of Summerlin Road and Bass Road.

3. BR-1, BR-2, BR-3, BR-4, BR-5, BR-7, BR-9, SR-1 and K-1 (Dark Blue)

a. Multiple Occupancy Signs shall be permitted at the main entrances on Summerlin Road and Bass Road, provided that:

- (1) No sign shall exceed 200 square feet in area;
- (2) The maximum height of the sign shall be 24 feet;
- (3) The sign may be illuminated with a steady light but shall not be animated; and
- (4) There shall be no setback requirements from the right-of-ways of Summerlin Road and Bass Road.

b. Directory signs shall be allowed on the same structure as the Multiple Occupancy Signs, subject to the following limitations:

- (1) Each directory sign must be of the same background and lettering and color scheme.
- (2) Theaters may advertise on permitted identification signs provided the theater's copy area does not exceed 25 percent of the total permissible sign area.
- (3) It shall be the responsibility of the developer to assure adequate space on the directory and identification sign for each tenant. Failure to provide space shall not be grounds for any occupant to request or obtain a variance from the provisions of this section.

4. SH-1, K-2, K-4, K-6, K-7, NH-1, NH-2 and NH-3 (Red)

a. Multiple Occupancy Signs shall be permitted within the subject parcel at the tract/ pod entrances, provided that:

- (1) No sign shall exceed 200 square feet in area;
- (2) The maximum height of the sign shall be 20 feet;
- (3) The sign may be illuminated with a steady light but shall not be animated; and
- (4) There shall be no setback requirements from the right-of-ways of Summerlin Road and Bass Road.

- b. Directory signs shall be allowed on the same structure as the Multiple Occupancy Signs, subject to the following limitations:
- (1) Each directory sign must be of the same background and lettering and color scheme.
 - (2) Theaters may advertise on permitted identification signs provided the theater's copy area does not exceed 25 percent of the total permissible sign area.
 - (3) It shall be the responsibility of the developer to assure adequate space on the directory and identification sign for each tenant. Failure to provide space shall not be grounds for any occupant to request or obtain a variance from the provisions of this section.
- c. Individual occupants within multiple-occupancy complex. Individual offices, institutions or business establishments located within the multiple-occupancy complex shall not be permitted individual ground-mounted identification signs, but may display wall-mounted, marquee or under-canopy signs as follows:
- (1) Wall Signs.
 - i. Wall signs are permitted on any wall facing a collector or arterial street or parking lot provided that the total sign area of the wall sign and any attached marquee or canopy sign does not exceed ten percent of the wall area.
 - ii. Where the wall abuts residentially zoned property or a delivery vehicle accessway, wall signs shall be limited to a maximum of 24 square feet in area.
 - (2) Marquee signs. Marquee signs are permitted only on marquees or canopies otherwise lawfully permitted or in existence. Marquee signs shall not extend horizontally beyond the edges of the canopy or marquee to which they are attached or from which they are suspended.
 - (3) Under-canopy signs. Signs attached to the underside of a canopy shall have a copy area no greater than four square feet, with a maximum letter height of six inches, subject to a minimum clearance height of eight feet from the sidewalk, and shall be mounted as nearly as possible at a right angle to the building face, and must be rigidly attached.
 - (4) Sign content. No sign permitted by this subsection (2)c shall contain any advertising message concerning any business, goods, products, services or facilities which are not manufactured, produced, sold, provided or located on the premises upon which the sign is erected or maintained.
- d. Interior directional signs. Directional signs interior to the multiple-occupancy complex may be permitted subject to the following:

- (1) Interior directional signs shall not exceed ten feet in height and 32 square feet in total sign area;
- (2) Individual tenant panels not exceeding four square feet in area may be affixed to the interior directional sign structure provided that the total sign does not exceed 32 square feet;
- (3) Signs shall be located in a manner that will not adversely obstruct safe visibility between moving vehicles or vehicles and pedestrians;
- (4) Signs shall not be visible from outside the complex premises.

5. SH-3, and K-3

(Light Blue)

- a. Residential Occupancy Signs shall be permitted in accordance with Section 30-152 of the Land Development Code except that there shall be no setback requirements from rights-of-way and Residential Occupancy signs SH-3, K-3 and K-5 shall be 20 feet in height.

6. OP-1, OP-2, OP-3, OP-4, OP-5, OP-6 and OP-7

(Yellow)

- a. Outparcel Single Occupancy Signs.

- (1) One (1) outparcel single occupancy sign shall be permitted within any approved outparcel as follows:
 - i. If the establishment has 50 feet or less frontage on a public right-of-way, the maximum sign area shall be 32 square feet, and the sign shall be located no closer than five feet to any side property line.
 - ii. If the establishment has over 50 feet and up to 100 feet of frontage on a public right-of-way, the maximum permitted sign area shall be 64 square feet, provided that no ground-mounted sign shall be closer than five feet to any side property line.
 - iii. If the establishment has over 100 feet and up to 300 feet of frontage on a public right-of-way, the maximum permitted sign area shall be 72 square feet, and the sign shall be set back a minimum of ten feet from any side property line.
 - iv. Establishments having over 300 feet of frontage on a public right-of-way shall be permitted up to 96 square feet of sign area, and the sign shall be set back a minimum of ten feet from any side property line.
 - v. Establishments having frontage on more than one public right-of-way may be allowed one additional ground-mounted sign on the secondary frontage of not more than 24 square feet in area.
 - vi. On corner lots, the occupant may be allowed one single ground-mounted sign rather than two separate ground-mounted signs (one per street frontage) provided the total sign area of the ground-

mounted sign does not exceed 1½ times the maximum size permitted on any one street frontage.

- vii. In multiple-occupancy complexes of five or less occupants, ground sign area not identifying the complex should be divided equally among the occupants.
- (2) Maximum height of a ground-mounted outparcel identification sign shall be 20 feet.
- (3) Outparcel identification signs may be illuminated, but shall not be animated.
- (4) There shall be no setback requirements from any right-of-way or easement. In no case shall an outparcel identification sign be permitted between a collector or arterial street and a frontage road.
- (5) Wall-mounted, marquee or canopy signs may be displayed provided the total sign area of such signs plus any permitted ground-mounted outparcel identification sign does not exceed the total permitted sign area for the property based upon the calculations set forth in Section 30-153(1) of the Land Development Code, provided that not more than ten percent of any wall area may be used for signage.

7. SH-2

(Orange)

- a. A Hospital Occupancy Sign shall be permitted at the internal hospital entrance, provided that:
 - (1) The sign shall not exceed 96 square feet in area;
 - (2) The maximum height of the sign shall be 20 feet;
 - (3) The sign may be illuminated with a steady light but shall not be animated; and
 - (4) There shall be no setback requirements from any right-of-way.
- b. Directory signs shall be allowed on the same structure as the Hospital Occupancy Sign and must be of the same background and lettering and color scheme.

8. ER-2

(Orange)

- a. A Hospital Emergency Sign shall be permitted within the subject property at the main Bass Road entrance, provided that:
 - (1) The sign shall not exceed 96 square feet in area;
 - (2) The maximum height of the sign shall be 20 feet;
 - (3) The sign may be illuminated with a steady light but shall not be animated; and
 - (4) There shall be no setback requirements from any right-of-way.

9. ER-1 and ER-3

(Orange)

- a. Two Hospital Emergency Signs shall be permitted along Bass Road, provided that:
- (1) The signs shall not exceed 32 square feet in area;
 - (2) The maximum height of the sign shall be 10 feet;
 - (3) The sign may be illuminated with a steady light but shall not be animated; and
 - (4) There shall be no setback requirements from any right-of-way.

10. Interior Directional Signs

- a. Directional signs interior to HealthPark Florida may be permitted subject to the following:
- (1) Interior directional signs shall not exceed ten feet in height and 32 square feet in total sign area;
 - (2) Individual tenant panels not exceeding four square feet in area may be affixed to the interior directional sign structure provided that the total sign area does not exceed 32 square feet;
 - (3) Signs shall be located in a manner that will not adversely obstruct safe visibility between moving vehicles or vehicles and pedestrians;
 - (4) Signs shall not be visible from outside the campus premises.

Future outparcels fronting on Bass Road and Summerlin Road may obtain ground-mounted signage in accordance with Section 30 of the Land Development Code.

Unless specifically excluded within this sign deviation, all other requirements of Section 30 of the Land Development Code will still apply to signage for HealthPark Florida.

HealthPark Florida Signage System

Sign HP - 1



24 feet

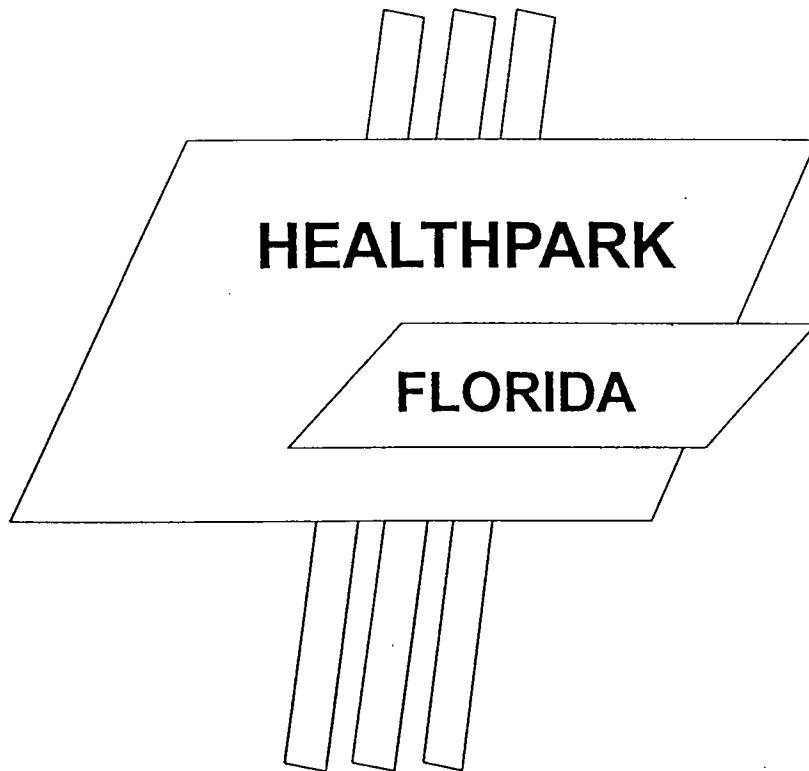
Sign Area = 300 square feet

HealthPark Florida

9/24/97

HealthPark Florida Signage System

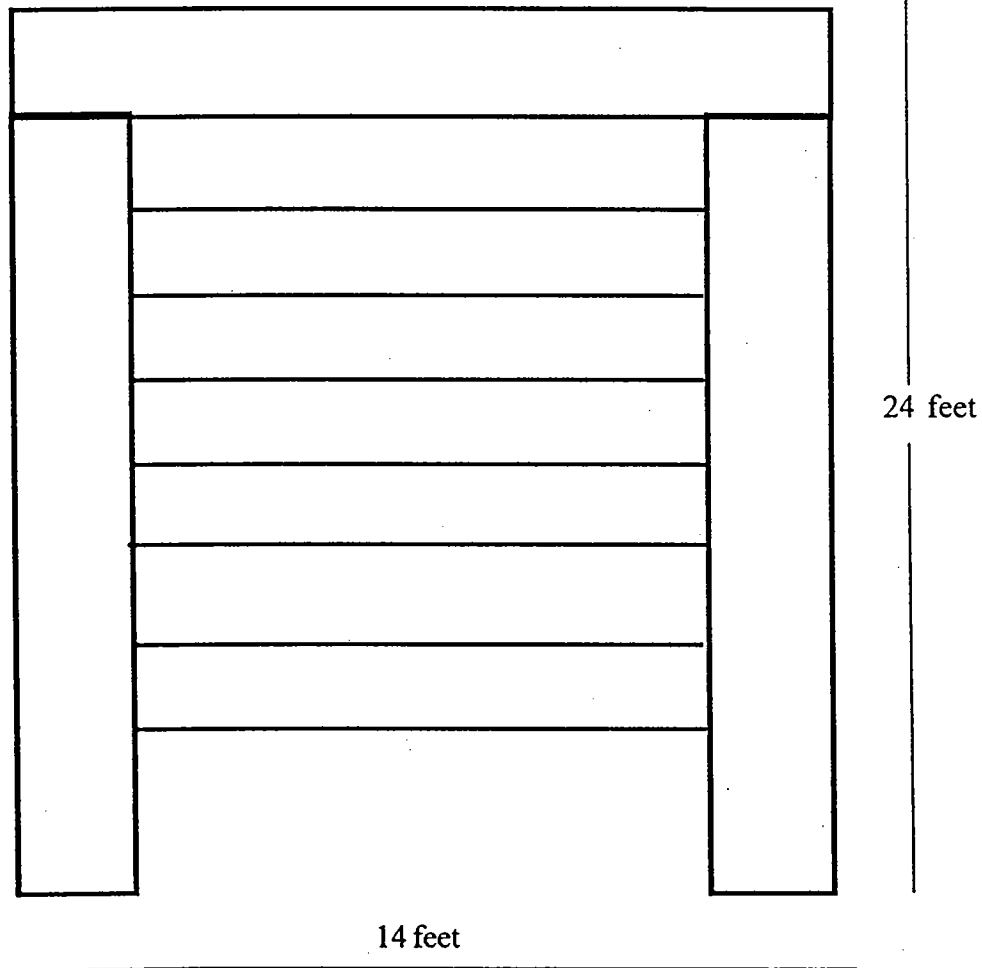
Sign HP - 2, HP - 3



10 feet

Sign Area = 105 square feet

Multiple Occupancy Signs Sign Dimensions and Location Reference



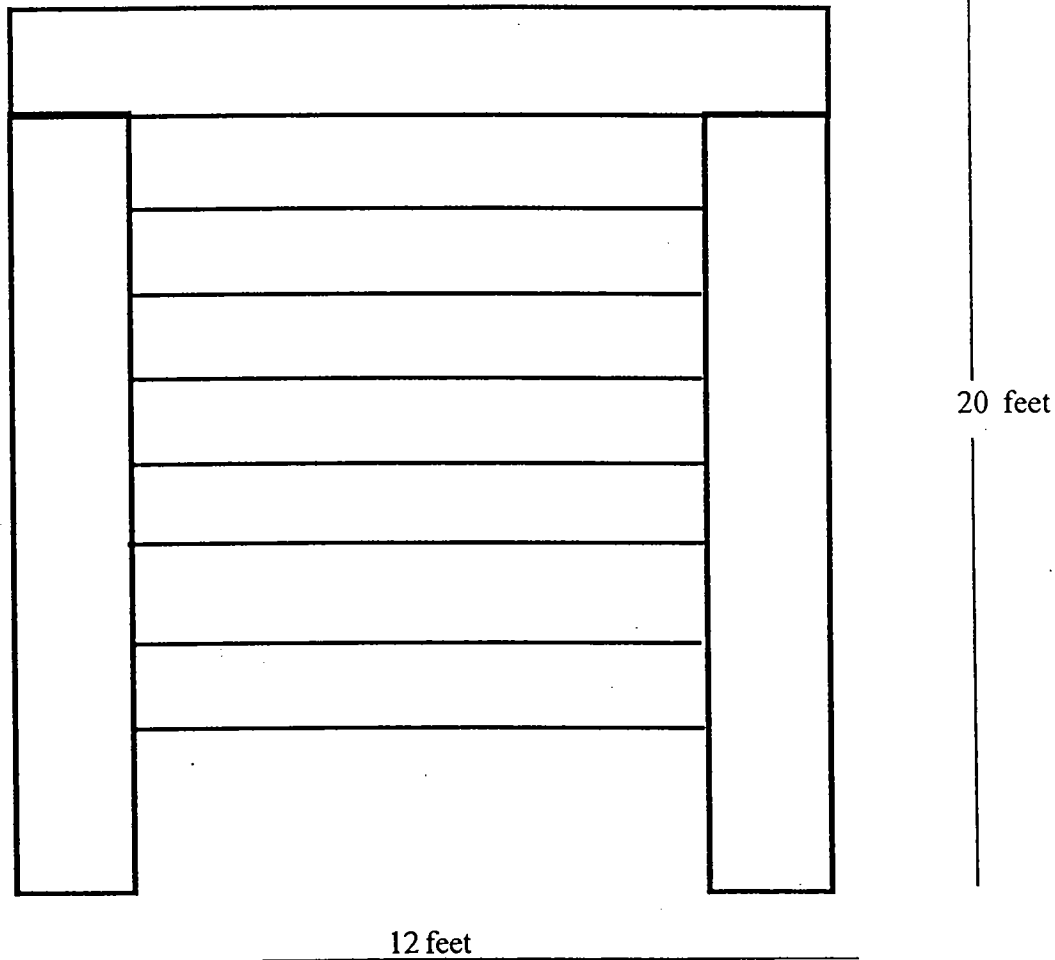
Sign Area = 200 square feet

Sign Location Reference Numbers

BR-1, BR-2, BR-3, BR-4, BR-5, BR-7, BR-9 SR-1, K-1

Multiple Occupancy Signs

Sign Dimensions and Location Reference

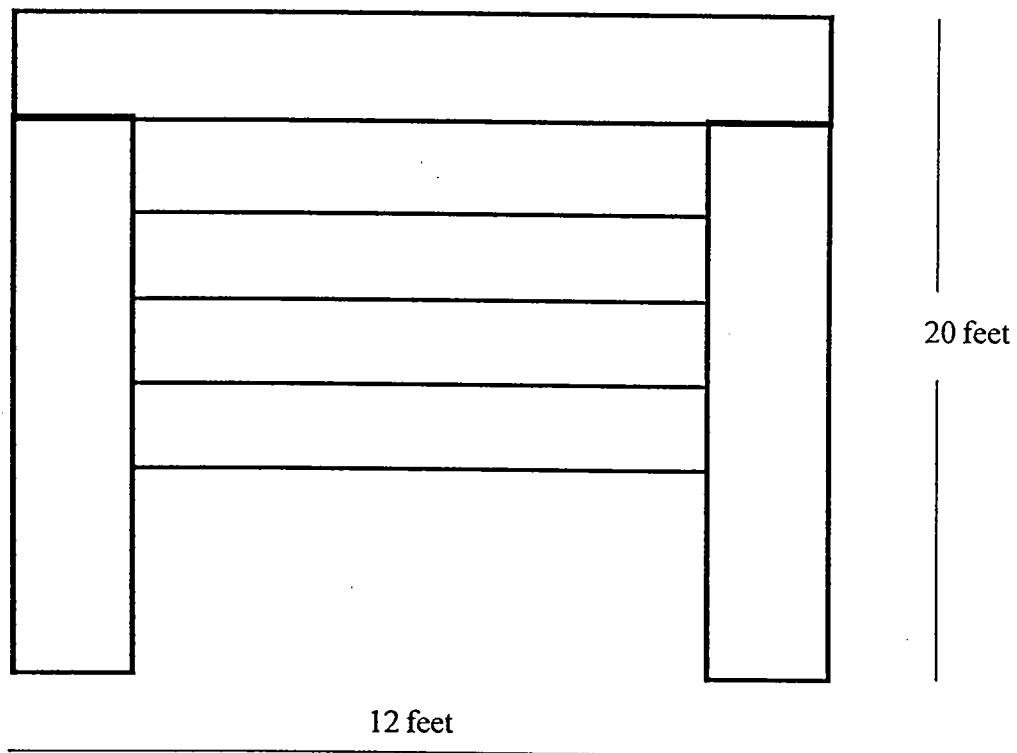


Sign Area = 200 square feet

Sign Location Reference Numbers

SH-1, K-2, K-4, K-6, K-7, NH-1, NH-2, NH-3

HealthPark Florida Signage System
Residential Occupancy Signs
Sign Dimensions and Location Reference



Sign Area = 105 square feet

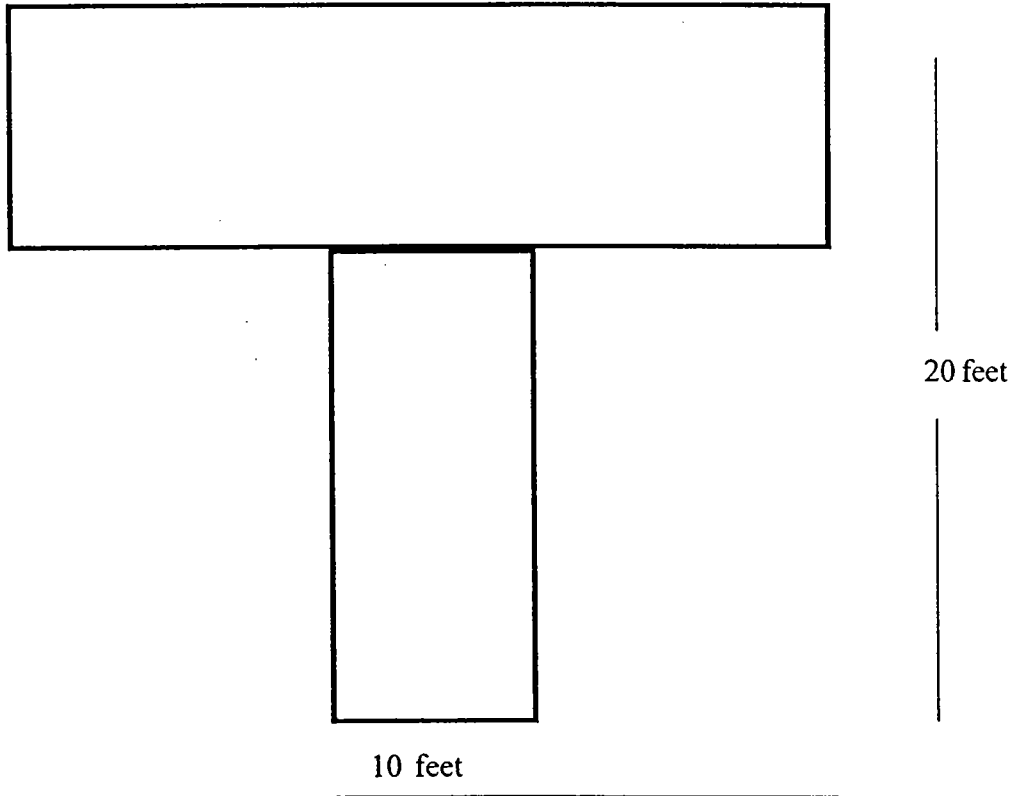
Sign Location Reference Numbers

SH-3, K-3

HealthPark Florida

9/25/97

Residential Occupancy Signs Sign Dimensions and Location Reference

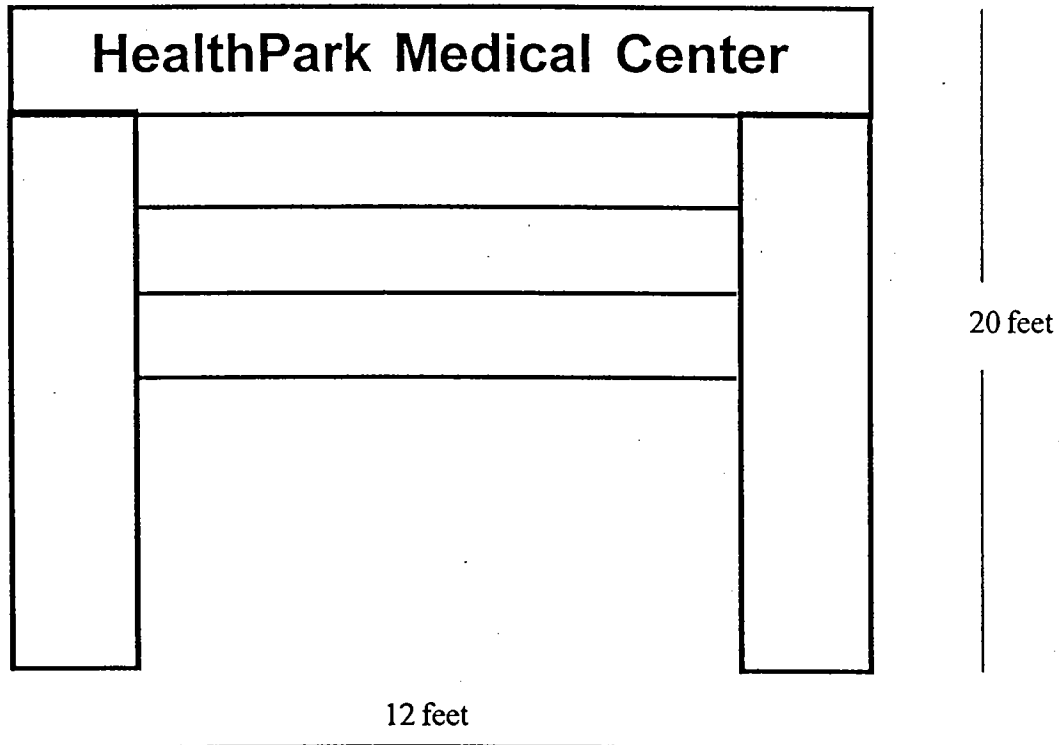


Sign Area = 96 square feet

Sign Location Reference Numbers

OP-1, OP-2, OP-3, OP-4, OP-5, OP-6, OP-7

HealthPark Florida Signage System
Hospital Occupancy Signs
Sign SH-2

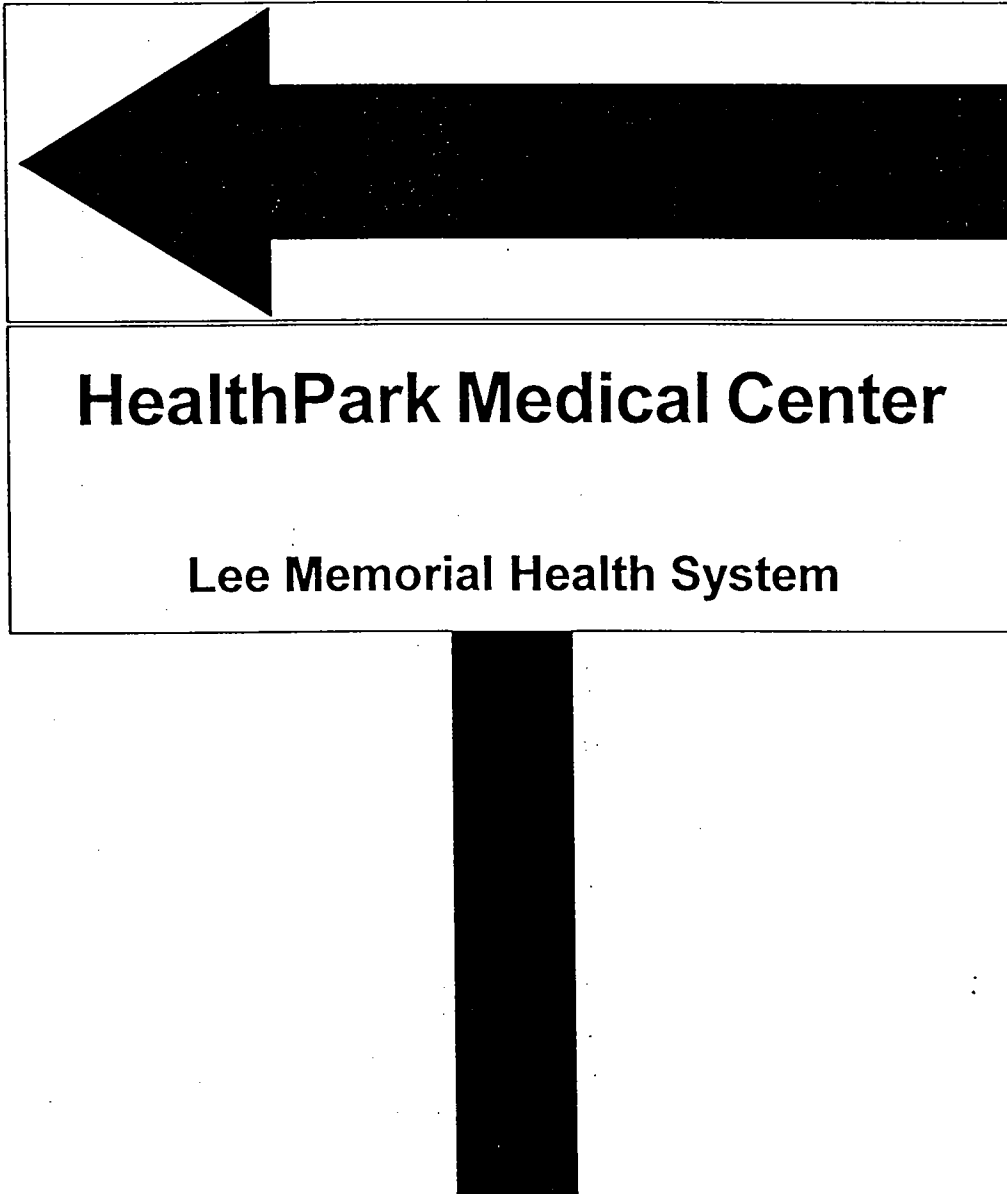


Sign Area = 96 square feet

HealthPark Florida

9/25/97

HealthPark Florida Signage System
Hospital Emergency Signs
Sign ER-2



20 feet


10 feet

Sign Area = 96 square feet

HealthPark Florida
9/25/97

HealthPark Florida Signage System
Hospital Emergency Signs
Sign ER-1, ER-3



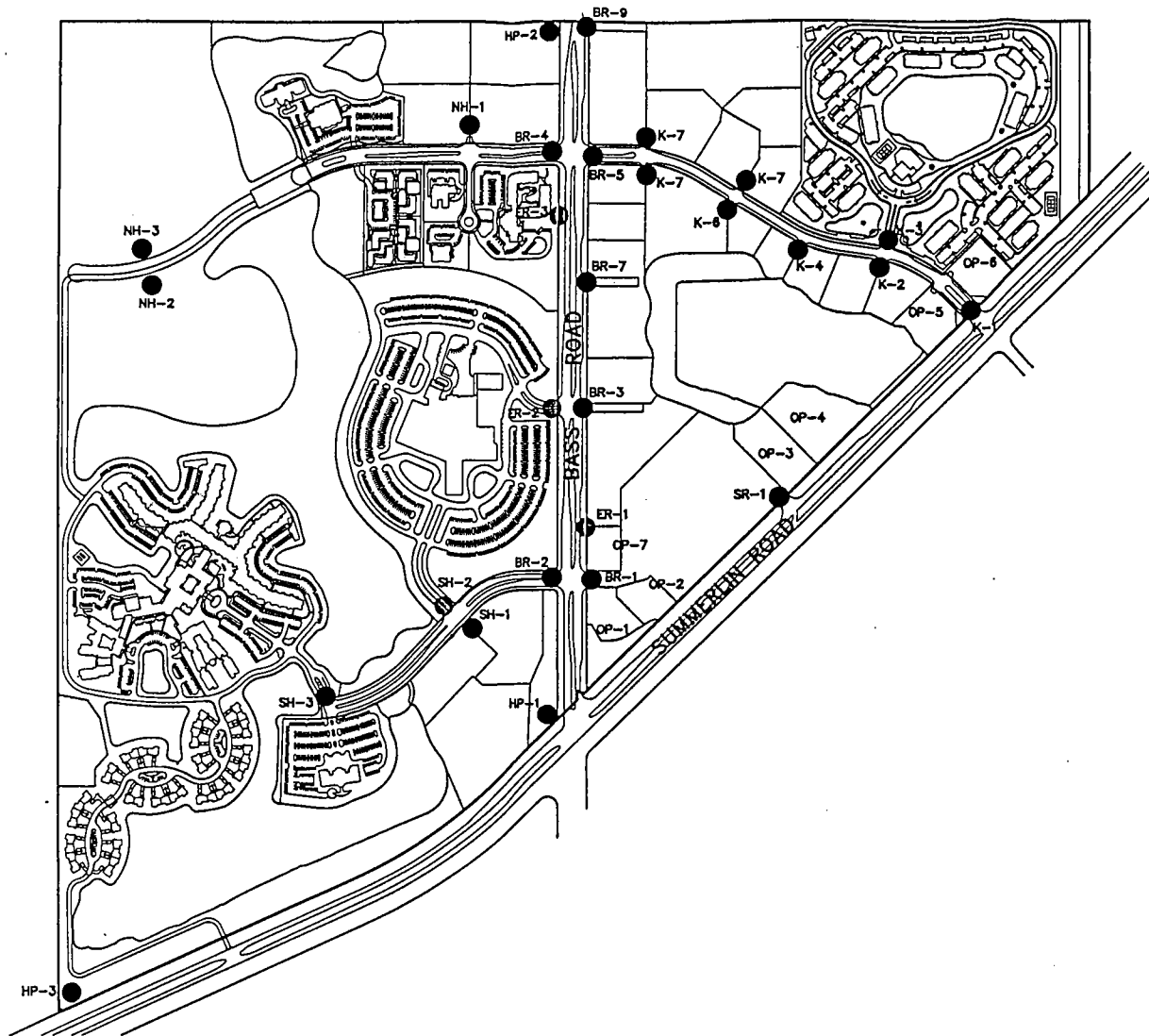
							
HealthPark Medical Center							
Lee Memorial Health System							

10 feet

Sign Area = 96 square feet

HealthPark Florida

9/25/97



SIGNAGE MAP

Johnson Engineering, Inc.

JOHNSON ENGINEERING, INC.

ENGINEERS, SURVEYORS AND ECOLOGISTS

2105 JOHNSON VILLAGE, SUITE 200, ST. LOUIS, MISSOURI 63114

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
9-7-00	19293	33-45-24	1" = 600'	1