

ADMINISTRATIVE AMENDMENT (PD) ADD2003-00067

ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA

WHEREAS, G.L. Homes of Florida II Corporation filed an application for administrative approval to a Residential Planned Development on a project known as Buckingham 320 RPD for minor changes to the Master Concept Plan to bring the Master Concept Plan into compliance with zoning resolution Z-00-029 and relocate the clubhouse on property located at 3621 Buckingham Rd., described more particularly as:

LEGAL DESCRIPTION: In Section 32 & 33, Township 43 South, Range 26 East, Lee County, Florida:

See Exhibit "A"

WHEREAS, the property was originally rezoned in case number 99-10-090.03Z; and

WHEREAS, Hole Montes Inc., the authorized agent, has applied for an administrative amendment for minor changes to the Master Concept Plan approved in Zoning Resolution Z-00-029; and

WHEREAS, a more detailed site plan was submitted to accurately show what was approved under zoning resolution Z-00-029 ; and

WHEREAS, minor changes have been made to redesign the layout of the development; and

WHEREAS; the Phases which where originally approved under zoning resolution Z-00-029 are now referred to as Tracts; and

WHEREAS, the Clubhouse facilities have been moved from the Suburban Land Use classification to the Rural Land Use classification; and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject application and plans have been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval for an amendment to Residential Planned Development is **APPROVED**.

Approval is subject to the following conditions:

1. The Development must be in compliance with the amended 2-page Master Concept Plan, dated December, 2002 and stamped received by Community Development July 18, 2003. Master Concept Plan for ADD2003-00067 is hereby **APPROVED** and adopted. A reduced copy is attached hereto.
2. The terms and conditions of the original zoning resolutions remain in full force and effect except as amended herein.
3. The Development is limited to 640 Single-Family dwelling units, of which no more than 520 units may be located in the Suburban Land Use category, and no more than 120 units may be located in the Rural Land Use category.

4. **Site Development Regulations**

Tracts 1-6:

Minimum Lot Area:	5,250 square feet
Minimum Lot Width:	50 feet
Minimum Lot Depth:	105 feet
Minimum Street Setback:	20 feet
Minimum Side Setback:	zero feet and five feet for zero lot line units, 7.5 feet for all others, except that where there are two or more principal buildings on a development tract, the minimum separation of buildings will be 20 feet
Minimum Rear Setback:	20 feet
Minimum Waterbody Setback:	25 feet

Phases 7 & 8:

Minimum Lot Area:	20,000 square feet
Minimum Lot Width:	100 feet
Minimum Lot Depth:	100 feet
Minimum Street Setback:	20 feet
Minimum Side Setback:	10 feet
Minimum Rear Setback:	25 feet
Minimum Waterbody Setback:	25 feet

DULY SIGNED this 25th day of August, A.D., 2003.

BY: Pam Houck
Pam Houck, Director
Division of Zoning
Department of Community Development

PROPERTY DESCRIPTION

THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, LYING EAST OF FORT MYERS BUCKINGHAM HIGHWAY THROUGH SAID SECTION; ALSO THAT PART OF THE SOUTH HALF OF THE NORTHWEST QUARTER (OF SECTION 33) LYING EAST OF FORT MYERS BUCKINGHAM HIGHWAY THROUGH SAID LAND; ALSO, THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER (OF SECTION 33) AND THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (OF SECTION 33) AND THE SOUTH HALF OF THE SOUTH HALF OF SECTION 33; ALL OF SAID LAND BEING IN TOWNSHIP 43 SOUTH, RANGE 26 EAST, LEE COUNTY, FLORIDA; ALSO THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER LYING EASTERLY OF FORT MYERS BUCKINGHAM HIGHWAY IN SECTION 32, TOWNSHIP 43 SOUTH, RANGE 26 EAST, LEE COUNTY, FLORIDA LESS AND EXCEPT PARCEL AS DESCRIBED IN OFFICIAL RECORD BOOK 1616, PAGE 2070, BUT INCLUDING THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 26 EAST, LEE COUNTY, FLORIDA.

MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER; AND THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 43 SOUTH, RANGE 26 EAST, LYING EAST OF BUCKINGHAM ROAD.

TOGETHER WITH

THE SOUTH HALF OF THE NORTHWEST QUARTER; AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER; AND THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER; AND THE SOUTH HALF OF THE SOUTH HALF OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 26 EAST, LEE COUNTY, FLORIDA.

LESS AND EXCEPT

THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 33.

ALSO BEING DESCRIBED AS:

A PORTION OF SECTIONS 32 AND 33, TOWNSHIP 43 SOUTH, RANGE 26 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 26 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.89°06'45"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 2647.58 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 33; THENCE RUN S.89°06'35"W., ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 2647.40 FEET, TO THE SOUTHWEST CORNER OF SAID SECTION 33; THENCE RUN N.00°56'26"W., ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1329.87 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 33; THENCE RUN S.89°35'38"W., ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 43 SOUTH, RANGE 26 EAST, FOR A DISTANCE OF 978.47 FEET TO THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF BUCKINGHAM ROAD, A 60.00 FOOT RIGHT-OF-WAY; THENCE RUN N.24°23'58"E., ALONG THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF BUCKINGHAM ROAD, FOR A DISTANCE OF 2286.09 FEET TO A POINT ON THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE RUN S.00°56'26"E., ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 80.68 FEET TO THE NORTHWEST CORNER OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE RUN N.89°04'22"E., ALONG THE NORTH LINE OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1498.70 FEET TO THE SOUTHWEST CORNER OF THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE

NORTHWEST QUARTER OF SAID SECTION 33; THENCE RUN N.00°46'36"W., ALONG THE WEST LINE OF THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 662.58 FEET TO THE NORTHWEST CORNER OF THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE RUN N.89°09'14"E., ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1167.13 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE RUN S.00°38'54"E., ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1321.87 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE RUN S.88°59'29"W., ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1330.50 FEET TO THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE RUN S.00°47'40"E., ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1331.24 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 33; THENCE RUN N.89°03'02"E., ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1327.10 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 33; THENCE RUN N.89°03'03"E., ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1322.10 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 33; THENCE RUN N.00°43'16"W., ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1333.99 FEET TO THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 33; THENCE RUN N.88°59'29"E., ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 1320.42 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 33; THENCE RUN S.00°47'37"E., ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33, FOR A DISTANCE OF 2670.83 FEET TO THE POINT OF BEGINNING; CONTAINING 324.657 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

BEARINGS REFER TO STATE PLANE FLORIDA WEST ZONE NORTH AMERICAN DATUM 1983, 1990 ADJUSTMENT, WITH THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 26 EAST, BEING S.89°06'45"W.

THE FRACTIONAL PORTION OF THE PROPERTY DESCRIPTION SHOWN HEREON WAS PROVIDED BY CLIENT AS CONTAINED IN TITLE INSURANCE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

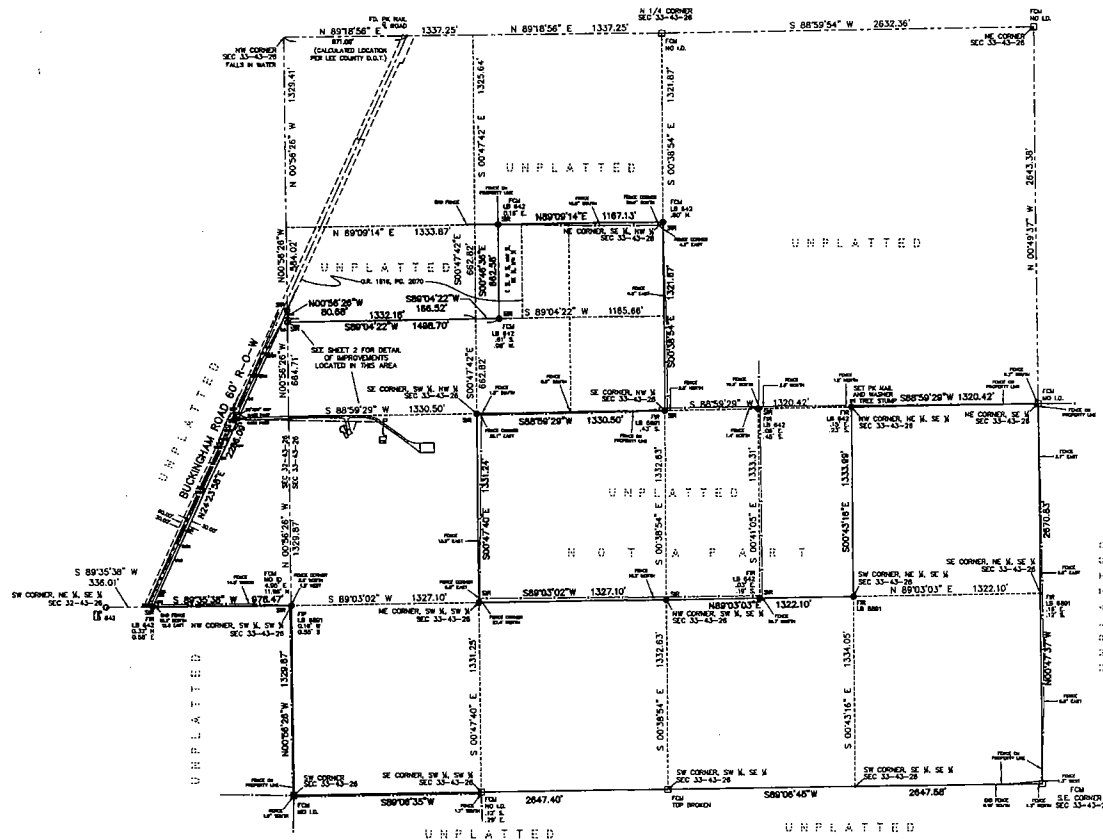
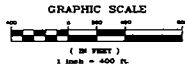
PROPERTY AREA: 324.646 ACRES, MORE OR LESS

HOLE MONTES, INC.
CERTIFICATION OF AUTHORIZATION LB #1772

Applicant's Legal Checked
by [Signature] 21 AUG 03

BY [Signature] P.S.M. #6130
JERRY L. RIFFELMACHER STATE OF FLORIDA

N



PROPERTY DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, LYING EAST OF FORT MYERS BUCKINGHAM HIGHWAY THROUGH SAID SECTION; ALSO THAT PART OF THE SOUTH HALF OF THE NORTHWEST QUARTER (OF SECTION 33) LYING EAST OF FORT MYERS BUCKINGHAM HIGHWAY THROUGH SAID LAND; ALSO, THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER (OF SECTION 33) AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (OF SECTION 33) AND THE SOUTH HALF OF THE SOUTH HALF OF SECTION 33; ALL OF SAID LAND BEING IN TOWNSHIP 43 SOUTH, RANGE 28 EAST, LEE COUNTY, FLORIDA; ALSO THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER LYING EASTERLY OF FORT MYERS BUCKINGHAM HIGHWAY IN SECTION 32, TOWNSHIP 43 SOUTH, RANGE 28 EAST, LEE COUNTY, FLORIDA, LESS AND EXCEPT PARCELS AS DESCRIBED IN OFFICIAL RECORD BOOK 1816, PAGE 2070, BUT INCLUDING THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 28 EAST, LEE COUNTY, FLORIDA.

MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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TOGETHER WITH

THE SOUTH HALF OF THE NORTHWEST QUARTER, AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, AND THE SOUTH HALF OF THE SOUTH HALF OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 28 EAST, LEE COUNTY, FLORIDA.

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NOTES:

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BEARINGS REFER TO STATE PLANE FLORIDA WEST ZONE NORTH AMERICAN DATUM 1983, 1980 ADJUSTMENT, WITH THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 28 EAST, BEING S.89°06'45"W.

THE PROPERTY DESCRIPTION SHOWN HEREON WAS PROVIDED BY CLIENT AS CONTAINED IN TITLE INSURANCE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

PROPERTY AREA: 324.657 ACRES, MORE OR LESS

ABOVE GROUND IMPROVEMENTS EXISTING ON THIS PROPERTY HAVE BEEN LOCATED AS SHOWN ON THIS SURVEY. SEE SHEET 2 FOR IMPROVEMENT DETAILS.

THE FLORIDA POWER AND LIGHT COMPANY EASEMENT RECORDED IN O.R. BOOK 1729 AT PAGE 4 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, IS NOT LOCATED ON THIS PROPERTY.

THE PROPERTY DESCRIBED IN THE RESERVATION OF OIL, GAS AND SULPHUR RIGHTS IN DEED FROM CONSOLIDATED NAVAL STORES COMPANY TO ORANGE RIVER CATTLE COMPANY, RECORDED IN DEED BOOK 138, PAGE 441, AND AS FURTHER AFFECTED BY NOTICE GIVEN RECORDED IN O.R. BOOK 1063, PAGE 465 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, ENCOMPASSES ALL OF THE PROPERTY DESCRIBED HEREON EXCEPT THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 43, RANGE 28 EAST, LYING EASTERLY OF BUCKINGHAM ROAD.

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

CERTIFIED TO: ALL HOMES OF FLORIDA II CORPORATION, A FLORIDA CORPORATION
FIRST AMERICAN TITLE INSURANCE COMPANY
BUCKINGHAM DEVELOPMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY
RUDIN, MCCORDY, SMITH, SCHUSTER & RUSSELL, P.A.

I HEREBY CERTIFY THAT THIS SKETCH OF THE HEREON DESCRIBED PROPERTY WAS SURVEYED UNDER MY DIRECTION ON 3/25/03. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA PURSUANT TO CHAPTER 81G17-6, F.A.C.

HOLE MONTES, INC.
CERTIFICATION OF AUTHORIZATION LB #1772

BY: *Thomas J. Carter* P.L.S. #3741
STATE OF FLORIDA

RECEIVED
MAR 20 2003

BOUNDARY SURVEY
OF PORTIONS OF SECTIONS 32 & 33, TOWNSHIP 43 SOUTH, RANGE 28 EAST, LEE COUNTY, FLORIDA

COMMUNITY DEVELOPMENT
FLORIDA

030328ND

LEGEND

- FCM FOUND CONCRETE MONUMENT
- FBM FOUND BROWN PINE
- FLM FOUND LIMEWOOD
- SLM SPLIT LIMEWOOD
- ULM UNIDENTIFIED LIMEWOOD
- UTM UNIDENTIFIED TELEPHONE SERVICE
- QTM QUARTER TIE
- BTM BURIED TELEPHONE
- BTM BURIED TELEPHONE
- BTM BURIED TELEPHONE

FIELD BOOK 852/71-78

BUCKINGHAM

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

PARTY CHIEF:	AL	DATE:	3/03
DRAWN BY:	BA/BEN	DATE:	3/03
CHECKED BY:	T.G.	DATE:	3/03
VERTICAL SCALE:	N/A	HORIZONTAL SCALE:	1"=400'



950 Encore Way
Naples, FL 34110
Phone: (841) 254-2000
Florida Certificate of
Authorization No. 1772

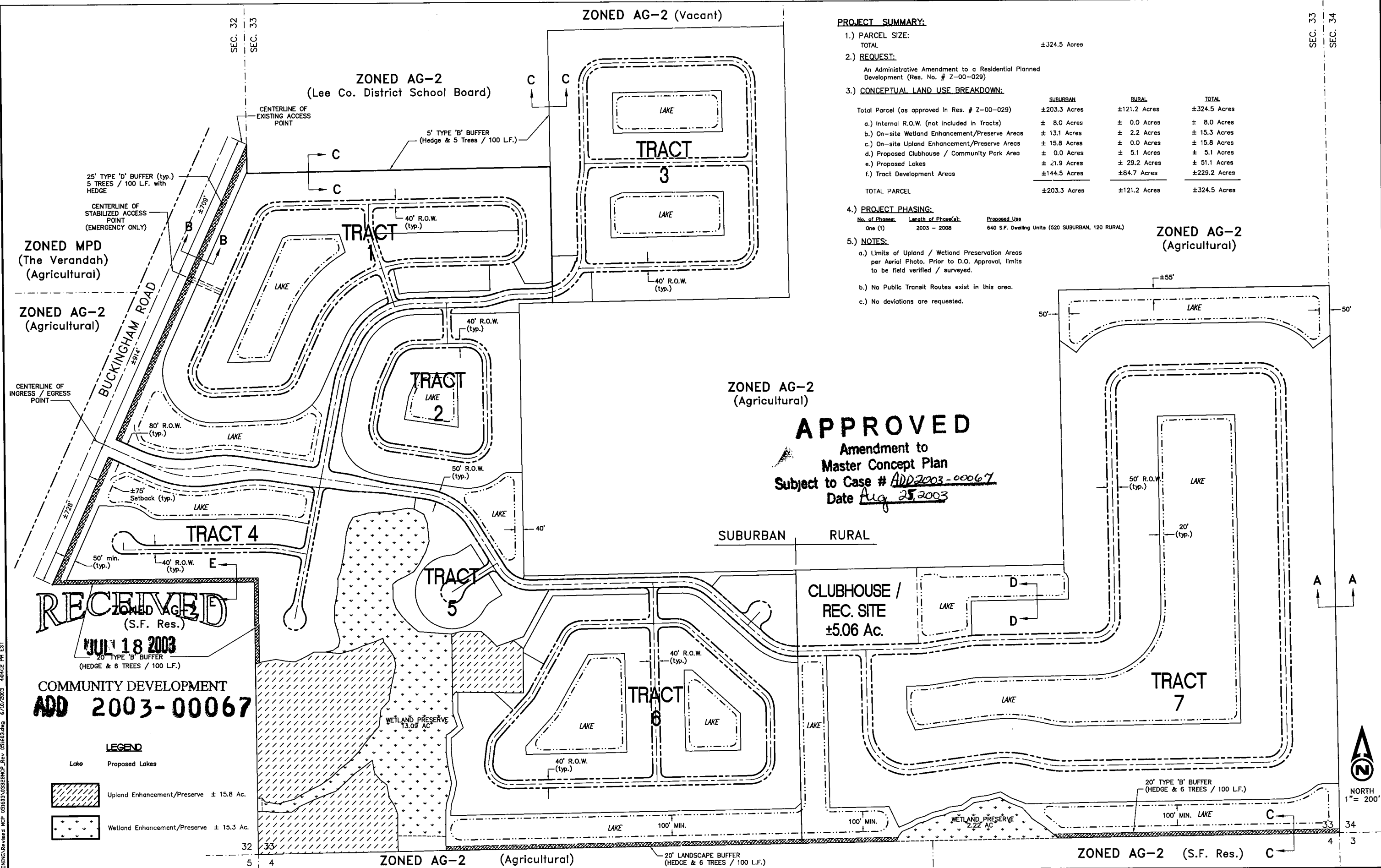
LEE COUNTY

SHEET 1 OF 2

DRAWING NO. A-1535

PROJECT NO. 2003.032

REFERENCE NO. 030328ND



PROJECT SUMMARY:

1.) PARCEL SIZE:			
TOTAL			±324.5 Acres
2.) REQUEST:			
An Administrative Amendment to a Residential Planned Development (Res. No. # Z-00-029)			
3.) CONCEPTUAL LAND USE BREAKDOWN:			
	SUBURBAN	RURAL	TOTAL
Total Parcel (as approved in Res. # Z-00-029)	±203.3 Acres	±121.2 Acres	±324.5 Acres
a.) Internal R.O.W. (not included in Tracts)	± 8.0 Acres	± 0.0 Acres	± 8.0 Acres
b.) On-site Wetland Enhancement/Preserve Areas	± 13.1 Acres	± 2.2 Acres	± 15.3 Acres
c.) On-site Upland Enhancement/Preserve Areas	± 15.8 Acres	± 0.0 Acres	± 15.8 Acres
d.) Proposed Clubhouse / Community Park Area	± 0.0 Acres	± 5.1 Acres	± 5.1 Acres
e.) Proposed Lakes	± 21.9 Acres	± 29.2 Acres	± 51.1 Acres
f.) Tract Development Areas	±144.5 Acres	±84.7 Acres	±229.2 Acres
TOTAL PARCEL	±203.3 Acres	±121.2 Acres	±324.5 Acres

4.) PROJECT PHASING:

No. of Phases	Length of Phase(s)	Proposed Use
One (1)	2003 - 2008	640 S.F. Dwelling Units (520 SUBURBAN, 120 RURAL)

5.) NOTES:

- a.) Limits of Upland / Wetland Preservation Areas per Aerial Photo. Prior to D.O. Approval, limits to be field verified / surveyed.
- b.) No Public Transit Routes exist in this area.
- c.) No deviations are requested.

APPROVED
Amendment to
Master Concept Plan
Subject to Case # ADD 2003-00067
Date Aug 25, 2003

SUBURBAN RURAL

CLUBHOUSE /
REC. SITE
±5.06 Ac.

RECEIVED
JUL 18 2003
COMMUNITY DEVELOPMENT
ADD 2003-00067

LEGEND

Lake Proposed Lakes

Upland Enhancement/Preserve ± 15.8 Ac.

Wetland Enhancement/Preserve ± 15.3 Ac.

