ADMINISTRATIVE AMENDMENT (PD) ADD2007-00144

ADMINISTRATIVE AMENDMENT LEE COUNTY, FLORIDA

WHEREAS, Herons Glen Recreation District filed an application for administrative approval to a Residential Planned Development on a project known as Herons Glen Clubhouse Parking for a deviation from LDC Sec. 10-418(3) for bulkheads to comprise no more than 20% of an individual lake shoreline, to allow 33% bulkhead on a lake shoreline on property located at 2250 Avenida Del Vera, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 43 South, Range 24 East, Lee County, Florida:

SEE ATTACHED THREE-PAGE "EXHIBIT A"

WHEREAS, the property was originally rezoned in case number 88-3-19 DRI (with subsequent amendments in case numbers 88-3-18(A) DRI; 88-03-18-DRI; DCI964597; ADD2002-00005, ADD2002-00088, ADD2003-00096; ADD2004-00018; ADD2004-00217; ADD2005-00209 and ADD2006-00080); and

WHEREAS, the subject property is located in the Outlying Suburban Future Land Use Category as designated by the Lee Plan; and

WHEREAS, the subject portion of the project is developed as a clubhouse for the Herons Glen residential development; and

WHEREAS, the applicant has requested an administrative amendment to the RPD to allow a portion of an existing man-made lake to be filled and paved to create more parking area in the area of the clubhouse; and

WHEREAS, LDC Sec. 10-418(3) allows up to 20% of an individual lake shoreline to be bulkhead, riprap, or other hardened shoreline structures; and

WHEREAS, the applicant has requested that a bulkhead be allowed on approximately 33% of the total lake perimeter; and

WHEREAS, the applicant indicates that compensatory littoral plantings will result in an increase from one per lineal feet to two per lineal feet of bulkhead to mitigate for the greater bulkhead to total shoreline ratio; and

WHEREAS, the applicant has indicated that the proposed changes will decrease open space within the project; and

WHEREAS, the applicant has provided a three-page "Landscape Code Document," which depicts the locations and varieties of the proposed compensatory littoral plantings; and

WHEREAS, a copy of the "Landscape Code Document" is attached as "Attachment A;" and

WHEREAS, the applicant has supplied a copy of a Revised Master Concept Plan depicting the location of the proposed bulkhead and the proposed replacement lake, attached hereto as "Attachment B;" and

WHEREAS, the applicant has indicated that a Limited Review Development Order (LDO2006-00476) has been filed on the property; and

WHEREAS, approval of LDO2006-00476 is pending approval of the subject deviation to allow an increased percentage of bulkhead on the shoreline; and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject application and plans have been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval for a deviation from LDC Sec. 10-418(3) for bulkheads to comprise no more than 20% of an individual lake shoreline, to allow 33% bulkhead on a lake shoreline in a Residential Planned Development is APPROVED, subject to the following conditions:

- 1. The only change granted by this administrative amendment is the allowance of up to 33% of the shoreline around the lake near the clubhouse to be bulkheaded, with additional plantings to be provided around the littoral shelf, as shown on the "Landscape Code Document" "Attachment A." No other changes have been approved.
- 2. Prior to local development order approval, the development order plans must delineate:

a) The bulkhead percent of 33% as calculated using the entire length of the structure being 155 ft. and lake perimeter of 483 ft.

b) A compensatory littoral zone equal to the linear footage of the bulkhead within the same lake meeting the following criteria:

i. A five-foot wide littoral shelf planted with herbaceous wetland plants to provide 50% coverage at time of planting; or

ii. An 8:1 slope littoral shelf with herbaceous wetland plants to provide 50% coverage at the time of planting; or

iii. An equivalent littoral shelf design as approved by the director.

c) A minimum required number of native wetland herbaceous plantings at two (2) plants per linear foot of lake shoreline as measured at the control elevation water level.

3. The terms and conditions of the original zoning resolutions remain in full force and effect, except as herein amended.

DULY SIGNED this noth day of Septer A.D., 2007. BY: Pam Houck, Director

Division of Zoning Department of Community Development

JRI Engineering, Inc.

Site Planning and Engineering Surveying & Mapping Aerial Photography and Photogrammetry Services

AUG 0 9 2007

LEGAL DESCRIPTION HERON'S GLEN

COMMUNITY DEVELOPMENT

A parcel of land being a portion of sections 2,3,4,5 and 10, township 43 south, range 24 east, Lee County Florida, being more particularly described as follows:

COMMENCE at the northeast corner of the aforementioned section 3; thence, along the north line of the northeast one-quarter of said section 3, N89°57'30"W, 355.01 feet to an intersection with the westerly right-of-way line of the former S.A.L. Railroad and the POINT OF BEGINNING; thence, continue along the north line of the northeast one-quarter of said section 3, N89°57'30"W, 2313.55 feet to the northeast corner of the northwest one-quarter of said section 3; thence, along the north line of the northwest one-quarter of said section 3; thence, along the north line of the northwest one-quarter of said section 3, S89°48'39"W, 2667.53 feet to the northeast corner of the aforementioned section 4; thence, along the northerly boundary of Del Vera Country Club, Unit 2 as recorded in Plat Book 50 at pages 69 through 78 of the Public Records of Lee County, Florida, and the north line of said section 4, N89°42'39"W, 3036.29 feet; thence, along the boundary of Del Vera Country Club, Unit 1 as recorded in Plat Book 46 at pages 7 through 25 of the Public Records of Lee County, Florida, for the following nine (9) courses:

- 1. N89°42'40"W, 2299.67 feet;
- 2. \$89°33'20"W, 1871.76;
- 3. S26°03'40"E, 318.64 feet;
- 4. S63°56'20"W, 300.77;
- 5. thence along the arc of a non-tangent circular curve concave to the southwest having for its elements a radius of 7739.44 feet, a central angle of 00°42'56", a chord bearing of S26°25'08"E, an chord distance of 96.66 feet, an arc distance 96.66 feet;
- 6. S26°03'40"E, 1943.40 feet;
- 7. N63°56'20"E, 300.17 feet;
- 8. N26°03'40"W, 4.46 feet;
- 9. N89°48'47"E, 2854.47 feet;

AUU 2007-00144

Applicant's Legal Checked

thence S00°11'07"E, 335.36 feet; thence N89°48'53"E, 60.00 feet; thence S00°11'07"E, 600.00 feet; thence along the arc of a tangent curve concave to the Northeast, having for its elements a radius of 236.25', a central angle of 31°56'42", a chord of 130.02 feet, a chord bearing of S16°09'28"E, an arc distance of 131.72 feet; thence N89°48'53"E, 39.71 feet; thence S00°11'07"E, 125.00 feet; thence S89°48'53"W, 35.48 feet; thence S00°11'07"E, 650.00 feet; thence S89°48'53"W, 25.00 feet; thence S00°11'07"E, 205.00 feet; thence along the south line of lands described in Deed Book 224 at page 437 of the aforementioned public records, S89°48'47"W. 2273.40 feet; thence, along the northeasterly right-of-way line of Tamiami Trail

(Continued from page 1)

(S.R. 45, US 41), S26°03'40"E, 370.00 feet; thence N89°48'47"E, 3845.26 feet; thence N00°11'13"W, 332.91 feet; thence, along the south line of lands described in Deed Book 224 at page 437 of the aforementioned public records, N89°48'47"E, 4368.87 feet to an intersection with the northerly extension of the west line of lands described in Official Records Book 388 at page 80 of the aforementioned public records; thence, along said northerly extension and said west line, S00°02'36"W, 2451.41 feet; thence, along the north right-of-way line of Nalle Grade Road, as described in Official Records Book 1096 at page 1784 of the aforementioned public records, S89°56'45"E, 2153.08 feet; thence, along the east line of lands described in Official records Book 1516 at page 1802 of the aforementioned public records; N00°02'36"E, 2460.47 feet; thence, along the south line of lands described in Deed Book 224 at page 437 of the aforementioned public records, N89°48'47"E, 775.85 feet; thence along the westerly right-of-way line of the former S.A.L. Railroad, N11°11'01"W, 4190.51 feet to the POINT OF BEGINNING.

Said parcel contain 1150.961 acres, more or less.

Subject to easements, restrictions, reservations and rights of way of record.

Bearings are based on the plat of Del Vera Country Club Unit 2 (Plat Book 50, Pages 69 thru 78) fixing the north line as N89°42'39"W

JRI ENGINEERING, INC.:

Ronald Kerfoot Professional Land Surveyor Florida Certificate No. 2994

Date: August 7, 2007

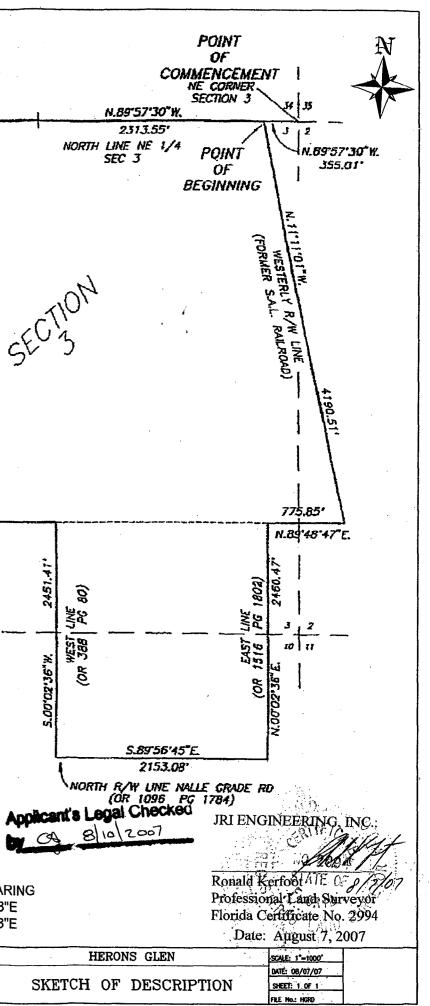


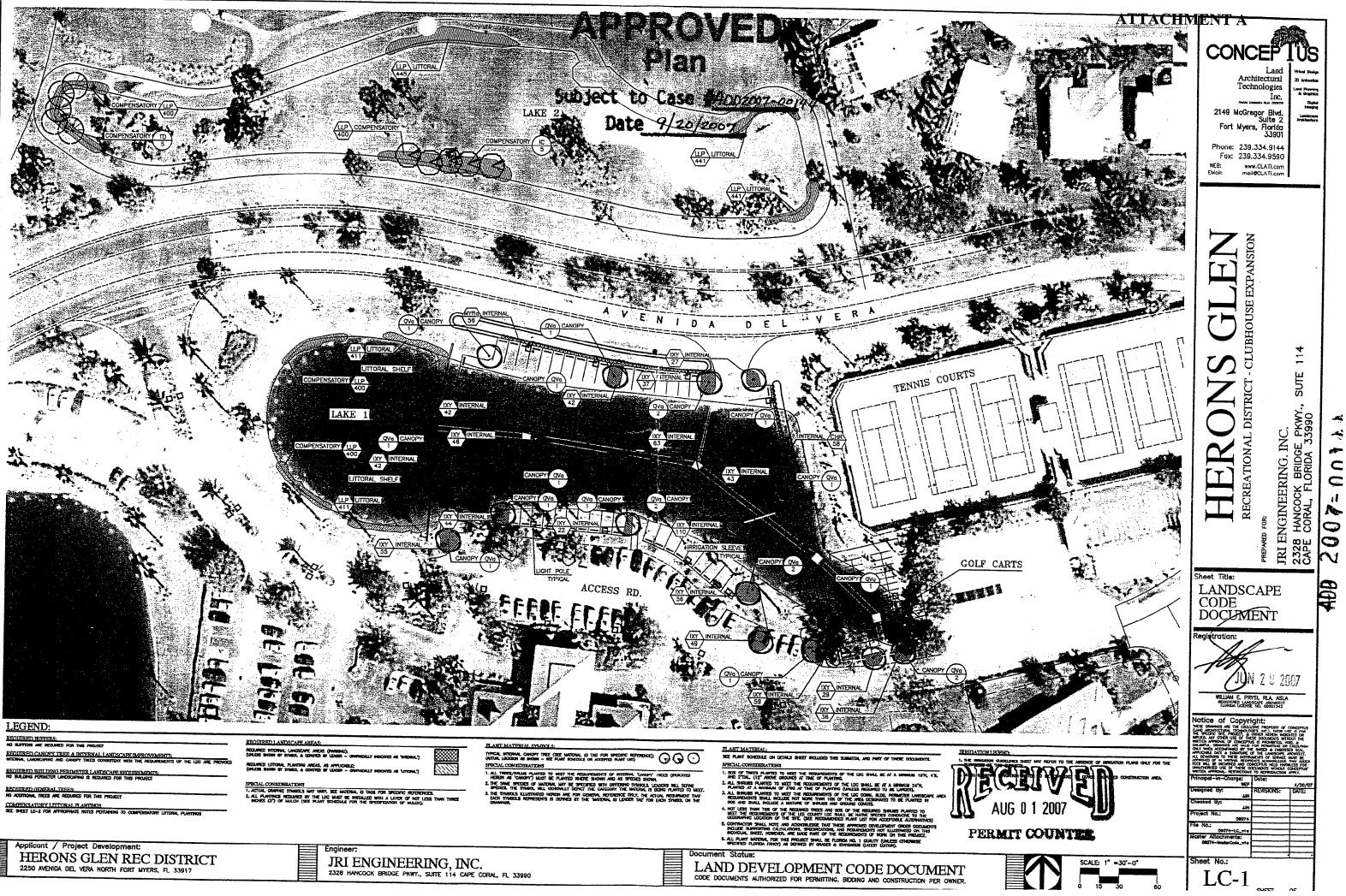
COMMUNITY DEVELOPMENT

ADD 2007-00144

CHARLOTTE COUNTY N.894240W. S.89'33'20"W 12 33 N.89'42'39" W. 31 34 S.89'48'39"W 2299.67 2667.53 1871.76 5 4 3036.29' NORTH LINE NW 1/4 SEC 3 - DEL VERA COUNTRY CLUB, UNIT 2 -(PLAT BOOK 50, PAGES 69 THRU 78) DEL VERA COUNTRY CLUB; UNIT 1 (PLAT BOOK 46; PAGES 7 THRU 25) LEE COUNTY 40' ROADWAY EASMENT TIMILITY IN THE SEE DETAIL "A" 500.00' N.854847 E HERONS GLEN OVERALL 1150.961 ACRES, ± 2854.47 .20 E. (DEVELOPMENT) N.6355. F? 2007-00144 AUU **E**[16 00-11'15"W 146 LEGEND: OR OFFICIAL RECORD BOOK BO' ROADWAY EASMENT PG PAGE ź, EAST LINE (OR 224 PG 437) 12 N.89'48'47'E S.89 48 47 W. 2273.40' 4368.87' 5.2503 SOUTH LINE (DB 224 PG 437) SOUTH LINE (DB 224 PG 437) 16,11,00 AUG 0 9 2007 88, N.89 48 47 E 3845.26 COMMUNITY DEVELOPMENT NOTES: 10 9 THIS IS A SKETCH AND IS NOT A SURVEY. 1. SEE ACCOMPANYING LEGAL DESCRIPTION. 2. LINE TABLE 3. SUBJECT TO EASEMENTS, RESTRICTIONS, LINE LENGTH BEARING RESERVATIONS AND RIGHTS OF WAY OF RECORD. L1 205.00' S00°11'07"E SUBJECT TO FEDERAL, STATE AND LOCAL 4. L2 25.00' S89°48'53"W JURISDICTION LINES, ZONING AND OTHER L3 650.00' S00°11'07"E **REQUIREMENTS OF RECORD OR IN FORCE** L4 35.48 S89°48'53"W BEARINGS ARE BASED ON THE PLAT OF DEL VERA L5 5. 125.00' S00°11'07"E L6 39.71 COUNTRY CLUB, UNIT 2 (PLAT BOOK 50, PAGES 69 THRU N89°48'53"E L7 78) FIXING THE NORTH LINE OF UNIT 2 AS N89°42'39"W. 600.00' S00°11'07"E L8 6. THIS SKETCH HAS BEEN PREPARED BY INFORMATION 60.00' N89°48'53"E FURNISHED BY OTHERS AND IS NOT A CERTIFICATION OF L9 335.37 S00°11'07"E TITLE, GUARANTEE OR OWNERSHIP OR FREEDOM FROM **CURVE TABLE** ENCUMBRANCES. 7. THIS SKETCH IS NOT VALID WITHOUT THE ORIGINAL NO. RADIUS DELTA ARC CHORD CHORD BEARING SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED 7739.44' 00°42'56" 96.66' S26°25'08"E 1 96.66' SURVEYOR AND MAPPER. 2 236.25' 31°56'42" 131.72' S16°09'28"E 130.02'

			JRI Engineering, Inc. Planning Engineering Surveying Aerial Photography & Photogrammetry Services	HERONS GLEN RECREATION DISTRICT 2250 AVENIDA DEL VERA
NO.	DATE	HOT AUTHORIZED FOR CONSTRUCTION	2328 Hencock Bridge Perkway, Ste. 114, Cape Cotal, Horida 33990 Phone: 239,458,5544 Fax: 239,458,2233 www.jiteingineeringinc.com Surveying Business Certificate of Authorization No. 6573	NORTH FORT MYERS, FLORIDA 33917 PHONE: (239) 731-4573
			Surveying Dukness Centricate of Authonization No. 00/3	







REQUIREMENTS OF THE LEE COUNTY LAND DEV LOPMENT CODE:

ZONING RESOLUTIONS:

ZONNIA RESOLUTIONS AS APPROVED BY THE LEE COUNTY BOARD OF COUN PRECEDENCE OVER THE LEE COUNTY LDC AS DEFINED BY ANY RELATIVE ZX AND FICURES USED IN THE TABLIATIONS FOR THES PROJECT ARE SUPPOSE	ONING RESOLUTION. THE CONDITIONS
ZONING RESOLUTION NUMBER:	N//
CLIRRENT PROJECT ZONING:	004
EPECIAL CONDITIONS	
ANY SPECIAL CONDITIONS MADE PART OF THE AFOREMENTIONED ZONING REMEMBED AND RECEIPTION THAT THEY ADD Y TO BELOW	SOLUTION, AS APPLICABLE, ARE NOTE

NOT APPLICABLE AT THIS THE

SECTION 10-415 OPEN SPACE: All projects located within the unicorporated limits of Lee county must contain, the minmum, percentage of open space as outlined by the following tabilation:

OPENSPACE REQUIREMENT IS SATISFIED BY EXISTING D.O.

SECTION 10-416 LANDSCAPE STANDARDS: CHERNEL LANDSCHAPING FOR ALL NEW DEVELOPMENTS, EXCEPT COMMUNITY AND REGIONAL PARKS AS DEFINED IN THE LEE PLAN, MUST INCLUDE, AT A MINIMUM, THE FOLLOWING HUMBER OF TREES, IM ADDITION TO THE LANDSCHAPING REQUIRED FOR VEHICULAR USE AREAS (PARPONG) AND BUFFERS. EXISTING WATER BODIES WITHIN THE SUBJECT DEVELOPMENT AREA MILL NOT BE INCLUDED IN THE CALCILLATION FOR REQUIRED GENERAL TREES.

SPECIAL CONSIDERATIONS (LANDSCAPE):

SECTION 10-416(a) GENERAL TREES: WE WEED ARE REQUIRED FOR THIS PROJECT

SECTION 10-416(b) BUILDING PERIMETER PLANTINGS:

BUILDING PERIMETER PLANTINGS REQUIRED: ITER LANDSCHEINE IS BECLENED FOR MAR PROJECT

COMPENSATORY LITTORAL PLANTINGS

LITTONIL FLATINGS WERE ADDED TO HELP OFFICE THE LINEAR FEET OF BULLHEDD ON LINES \$1 & \$2

SECTION 10-416(c) LANDSCAPING OF PARKING & VEHICULAR USE AREAS:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): ALL PROJECT WITHIN THE LIMITS OF LEE COUNTY MUST PR THE RADART HEAT AND PROVIDE VISUAL RELIEF AND TO CI PEDESTRIAN AND VEHICULAR CREGULATION AS FOLLOWS:	VER/NO ONDE LANDSCAPING AND TREE CANOPY TO OFFSET WINNELIZE AND DEFINE LOGICAL AREAS FOR
VEHICULAR USE AREAS: TOTAL VEHICULAR USE AREAS: REQURED NITERVIL LANDSCHPE AREA(S): TOTAL INTERVIAL LANDSCHPE AREA(S) PROVID	44,684 57 x 107 = 4,468 57 ED: 44,684 57 x 107 = 4,468 57 ED: 4,500 57
REDURRED CANOPY TREE CALCULATIONS: REQUIRED CANOPY TREES: TOTAL CANOPY TREES PROVIDED:	(NEQUIRED RITERING LANDSCAPE ANEA) 4,468 SF 4,800 SF / 250 ~ 16 TREES 20 TREES

SECTION 10-416(d) BUFFERING ADJACENT PROPERTY:

BUFFERING AREA IS REQUIRED ALONG THE ENTIRE PERMETER OF THE HE PROPOSED DEVELOPMENT A BUTS A DIFFERENT USE (ONLY REQUIRE

ERS ARE REQUIRED FOR THIS PROJECT.

SECTION 10-417. IRRIGATION DESIGN STANDARDS: SEE THE IRRIGATION DESIGN CUIDELINES AND REQUIREMENTS ON SHEET LC-4

SECTION 10-418. STORMWATER PONDS:

DESIGN STANDARDS: TECHINQUES TO MINIC THE FUNCTION OF NATURAL SYSTEMS IN STORNWATER NANAGEMENT Ponds are minimally defined below, where and when applicable.

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO);

DENCH STANDARDS AND PLANTING REQUIREMENTS

- shoreline configuration: shorelines must be sinvous in configuration to provide increased length and diversity of the litranil long sinvous is defined as sepretating, bencing in and out, wany or nanorig.
- NHINUM PLANTING STANDARDS: The following are considered sufficient to minic the function of natural systems in ponds with Supper from 16:1 to not indre than 4:1. . SHORELIKES MUST BE SLOPED OR BERNED TO DIRECT STOP SWALES PROR TO DISCHARGE INTO THE POND,
- L THE MINIMUM NUMBER OF NATIVE WELLIND PLANTS IS ONE PLANT PER LINEAR FOOT OF LAKE SHORELINE MEASURED FROM THE CONTROL BLEWATION MATRE WELLING TREES AND SHRUBS MAY BE SUBSTITUTED TO ZEX FOR THE TOTAL NUMBER OF RECARED LITTORAL PLANTS. I TREE OR 2 SHRUBS MAY BE SUBSTITUTED FOR 10 HERBICOUS LITTORAL PLANTS.
- 3. PLANTS MUST BE INSTALLED IN CLUSTERS AROUND THE LAVE PERMETER, CLUSTERS MUST CONTAIN A MINIMUM OF 25 PLANTS WITHIN A 50 SF AREA. PLACEMENT OF PLANTINGS AT INFALL AND OUTFALL STRUCTURES IS
- AT LEAST 4 SPECIES OF HERBACEOUS PLANTS MUST BE PLANTED. I. A MINIMUM OF 80% SURVIVIENTLY AFTER 1 YEAR IS REQUIRED FOR HERBACEOUS LITTORIA, PLANTS. WETLAND TREES AND SHRUBS MUST BE MAINTAINED IN PERPETUITY AS DEFINED IN SECTION 10-421(b).

LITTORAL PLANTING ZONE DIAGRAM

THE FOLLOWING DIAGRAM SHALL DEFINE THE METHODOLOGY FOR INSTALLING THE REOU "LANTINGS, SEE THE PLANT SCHEDULE ON SHEET LC-3 HEREIN INCLUDED,

PORTANT NOTE TO CONTRACTOR: E CONTRACTOR SHULL CLOSELY FOLLOW THE LAYOUT AND ARRANGEMENT OF THE LITTORAL PLANTINGS SHOWN IT HE PLANS AND OPHREN HEREN. LIKER PLANTING AND SIMPROVIT DEVIATIONS FROM THE FUNNIS) AND MOUNDS (DETAILD) HEREN SHALL REQUIRE THE RE-BECUTION OF WORK OF THE CONTINUETOR AT THERE THE PERSE. THE CONTINUENT SHULL RESPONSELLTY FOR MAY SERVICED EVALUATIONS THAT MAY IN FECURE THE PREPARATION & SUBMITTAL OF AS-BUILT DOCUMENTS BY THE LANDSCAPE ARCHITECT AND SHULL AT THE COSTS OF SHOL DOCUMENTS.

THE FEE FOR AS-BUILT DOCLAIENTS SHALL BE NOT LESS THAN \$500.00 AND SHALL BE PAID BY THE CONTRACT TO THE LANDSCHPE ARCHIECT PRICE TO A SA A PREPERDUSTE FOR SUBSTANTIL, COMPLIANCE, UNLESS THE PAULITIONS FOR THE APPRICADE DOCLODENENT ORDER FOR SUBSTANTIL, CONTRACT/OWNER FOR THE APPLICATION OF A PRICE TO A SA A PREPERDUSTE FOR SUBSTANTIL, CONTRACTANT OF THE APPLICATIONS FOR THE APPLICATION OF A SA A PREPERDUSTE FOR SUBSTANTIL, CONTRACTANT OF A SA A PREPERDUSTE FOR SUBSTANTIL, CONTRACTANT OF A SA A PREPERDUST.

10' LAKE	10' PLANT	ING STRIP	8' LITTOR	AL SHELF	1
ACCESS	FOR TREES	& Shrubs		ERBACEOUS TINGS	
NO REQUIRED	5' ZONE D	5 ZONE C	4' ZONE B	E ZONE A	
IN THIS AREA					.
TORAL PLANT		6:) J			V CONTRO

LAKE LITTORAL PLANTING CALCULATIONS

THE FOLLOWING CALCULATION APPLY TO THE LAKES	APPLICABLE TO THIS PROJECT SITE:
Line Ng, 1 Roundd Littorn, plants: Doy: Lac Lanaguent Nathe Thees Rourds: Lac Aennor/Deirsor Rounds: Rooksed Bulkero Rounds Bulkero Rounds Frank Revines Total Littoria, Plants Revines:	612 (F OF SHOREJAC 1 FUNC PER (F OF SHOREJAC = 512 FUNC) 10 (F PROPORE) BULINERD (510) 2 FUNCE PER (F OF BULINERD - 310 FUNC) 2 FUNCE PER (F OF BULINERD - 310 FUNC)
PLANTS PROVIDED LAKE 1	822 FLAT

THE FOLLOWING CALCULATION APPLY TO THE LAKES APPLICABLE TO THIS PROJECT STE

Line No. 2 Normal Littory, plants: Obsy Line Managiment Native Trees Rodures: Line Armory Delsen Rodures Holdend Plantacs Rodures Holdend Plantacs Total Littory, plants Rodures:	1394 UF OF SHORENE 1 FUNT PER UF OF SKOREINE 1,394 FUNT 10 10 10 1,204 FUNT
PLANTS PROVIDED LAKE 1	1,334 PLANTS

SECTION 10-420. PLANT MATERIAL STANDARDS:

SEE SHEET LC-3 FOR THE COMPLETE PLANT MATERIAL STANDARDS DEFINED BY AND THESE PERMIT DOCUMENTS. BOTH LEF COUNT

NETAL MANUEL METCLEMENTED FOR FLANT MATERIALS.

- EXSEMENTS. 2. All plant material installed in reference to lee county code requirements shall be xeriscape varieties as defined by the south florida water management district. WHERES AS DEFINED BY THE SOUTH FLORED WHERE MANAGEMENT DISTRET. 3. ALL PLAN NATIONAL INSTALLED IN RESPERSIVE TO LEE COUNTY CODE REQUIREMENTS SHALL RESPOND TO TO THE FOLLOWING MANUAN PLANT REQUIREMENTS. MININAL PERCENTAGE OF MATINE TREES SHALL BE 50% MININAL PERCENTAGE OF MATINE TRAUSS SHALL BE 50% MININAL PERCENTAGE OF MATINE TRAUSS SHALL BE 50% MININAL PERCENTAGE OF MATINE TRAUSS FOR REQUIRED CANOPY TREE, WHERE APPLICABLE) (MINE: THREE (A) PAUSS MUST BE EXCANAGED FOR EACH REQUIRED CANOPY TREE, WHERE APPLICABLE)
- 4. SEE PLANT LIST FOR MINIMUM MICH DE DAVINGED FOR DAVIE MATERIA 5. SEE PLANT LIST FOR MINIMUM PLANT INTERNAL SPECIFICATIONS AND NATIVE MATER 5. SEE PLANTING DETAILS, CONSTRUCTION NOTES AND CONDITIONS HEREIN INCLUDED
- 6. NOTE: ALL PLANTS IN ADDITION TO THOSE REQUIRED ARE AT THE OPTION OF THE OWNER.
- ERAL MARAN FLANT STANDARDS AND DOCUMENT CONDITIONS
- 50% OF TREES FLATED TO MEET THE REQUIREMENTS OF THE LDC SHALL BE AT A WHIMAN 10th, 4th, AND 2^{to}l. (12th Above Ground) at the differences beep plant Schedule for Specifications. Shrubs Must be a Manual of 2th Robes (16 Riches Tort Fef Functions) in Hookt, Above the On-Site MANTAINED IN PER Adjacent pavenid where pedestrain mantained so as time of planting.
- ALL SPRUE RANNED TO MEET THE RESUMEMENTS OF THE LOC BLOC, PERMETED UNISSUME AND A BROUMBAUNTS SAU MOLIDE HOT HAVE THAN TOX OF THE AREA DESCRIVED TO BE PLANTED IN SOO AND SHALL INCLUDE A MATTINE OF SPRUED HAV GRAVID COMPANY.
- l, not less than 735 of the redured trees and box of the redured shrues planted to meet the redured of the lee county los shill be nume species conducte to the geographic location of the site. (See Redundering plant let for accessing laternames)
- I. Contriactor skull note and achievaledge that these approved development order documents include supporting calculations, becarations, and beckligndings not llustrated on this incadeal sheet, however, are unce part of the recombenents of more on this project.
- 6. All plant wateral for this project shall be florida ho. 1 gliality (unless otherwise specified as florida fancy) as defined by grades a standards for landscape plants (latest edgica).

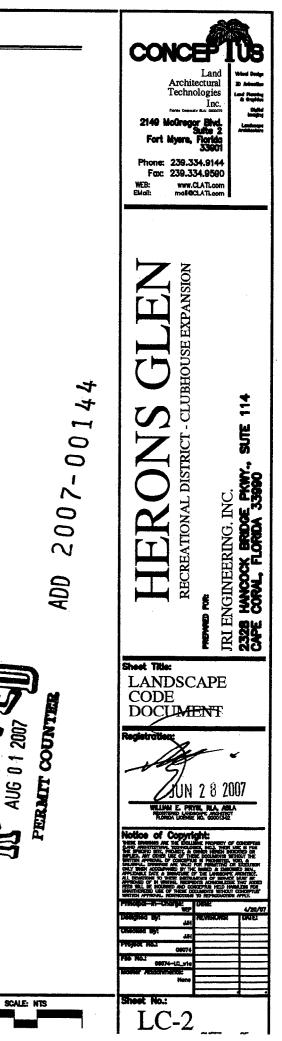
SECTION 10-421. PLANT INSTALLATION & MAINTENANCE STANDARDS:

SEE SHEET LC-3 FOR THE PLANT INSTALLATION & MAINTENANCE STANDARDS DEFINED BY BOTH LEE COUNTY & THESE PERMIT DOCUMENTS.

LEGEND

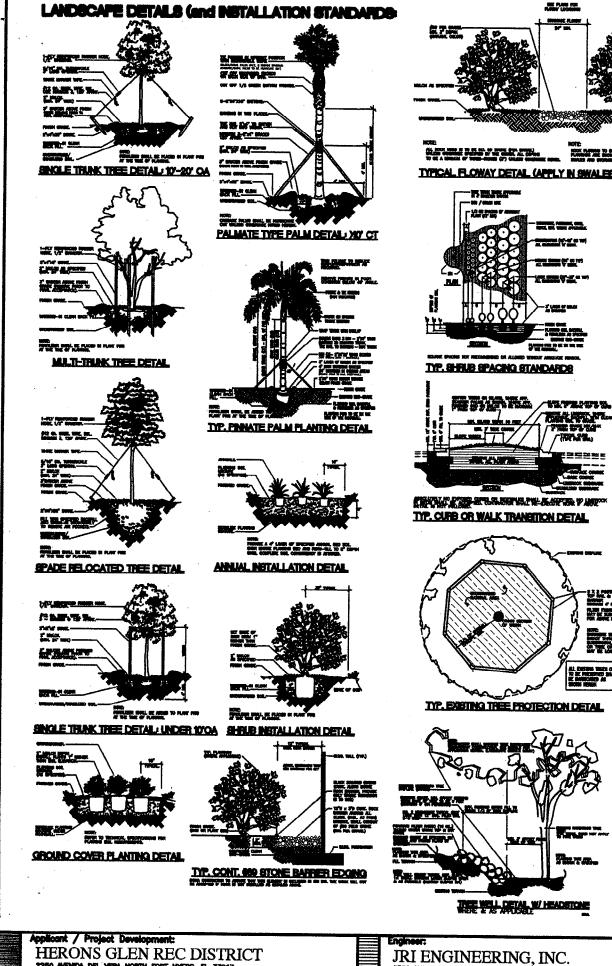
SEE SHEET LC-1 OR LC-3 FOR THE GRAPHIC LEGEND RELATIVE TO THESE PERMIT DOCUMENTS, WHICHEVER IS







LANDSCAPE DETAL 3 and MINIMUM STAND DS:



2250 AVENIDA DEL VERA NORTH FORT MYERS, FL 33917

LANDSCAPE DETAILS and LDC REQUIREMENTS: LANDRCAPE CONSTRUCTION NOTED PLANTING SCHEDULE - THERE SHOP The Contractor that its responsible for the location of all utilities and services both underground and evolved prior to the commencement of work. Presed of all utilities and services throughout the Course of work to especial. THE HORE ALL THERE TO BE SUPPLIED BY SOUTH FLONDA HU Sed used on the project shall be the type and variety indicated and shall provided throughout. Seeing may be provided on indicated. All smalles and provided throughout. Seeing may be provided on indicated. All smalles and provident benefits to acceled theme advantage indicated on the destination. 500 10 194 500 10 194 500 10 194 403 403 403 I shall be the respectivity of the Contractor to finish proto al instance distinguing of humps, descentions, replan, status, or after data prior to building of part matrick. The Contractor state also be responsible for positive shart first distance care for all structures and to all crimenes dataset of information of the contractor and the bar of attractors dataset of information of the contractor and the statements HOTE ALL SHREES, OF a for mainin nege wave Coordinate of wart with all trades so as to evoid any conflict with the execution work by athens. Court shall not be requiring the for the damage in the execution 902 10 100 902 10 100 902 10 100 KEX VOINTONA 'NVIK' MANKA GENNENA to the Quality standard The Contractor shall provide a guarantee and secret al works modericle for a partial of rock less than one (1) peor from Pe Currentee short of We relations reactionment that he correct nahio enti sien Final Acceptance. Any idened null and void. 800 K/A K/A 6. At no time only any verk on the othe commence utilisat a Vegetation Numeral Pu on required by Los County. The Contractor shall be reasonable for it's exclusion. poler essence full responsibility for executing these documents as drawn Med. Any reveals essected with the follow to execute these drawings a shall be drawn of the Conference and scenars. PARTY AND DECK, MELLER, OF ALLER WHAT ALL 1111 TYPICAL FLOWAY DETAIL (APPLY IN SWALEB WHERE NOTED) PROH-BITTED SPECIES LIST: NORE OF THE FOLLOWING FLATE FOODE MAY BE USED TO FULFILL THE REDUNMENTS OF THE LEE COMMUNISH, NOTE NOTE NOTE THE FOLLOWING FLATE SPECIES WILL BE COMMENDED AND ADDRESS OF THE FOLLOWING FLATE SPECIES WILL BE IF A PLACT SHAROL ID IS NOT HOT PORTANT NOTICE TO CONTRACTOR THE PRO MELALEUCA BRAZILLAN PEPPER / FLORDA HOLLY AUSTRALIAN PINE EARLEAF AGAGA DOINNEY ROBE MATLE TROPICAL SOGA APPLE WOLANS TONGE TREE BISHOP WOOD / TOOG TREE GABRUTWING LINES (MELALEUCA QUINQUENERVA (SCHINUS TEREBINTHFOLMS ("ALL CAUSARINA SPECIES" (ACACA AURIQUEFORMS) Contention (of -of at the NEELINE THAT AS-BUILT OR MINOR D LEE COUNTY (FOR APPROVAL). ius tom (Solanum Yarum (Solanum Yarum (Bishova Javonic) (Cupunopsis Spp. (Dalberga Sissoc (Cucalyptus Spp. SIGNIFICANT DEMATIONS TO THESE PENNIT DOCUMENTS THAT WERE CONSULTED BY THE OWNER OR APPLICANT SHALL BECOME THE SOLE RESPONSIBILITY OF THE CONTINUTION T INACTOR SHALL BE RESPONSIBLE FOR REPAINING, CONFIDENTING, OR RESTORANCE AND 100 000 (V-1) a v CARROTWOOD TREE ROSEWCOO / SISSOON TREE MURRY RED GUM TREE BENJAMIN FIG TREE CUBAH LAIREL TREE CHINESE TALLOW TREE JAVA PLLM TREE CORK TREE WEDELLIA (FICUS BENJAMINA (FICUS BETUSA (SAFIUM SEBIFERIA (SYFICKIN CLAMIN (SYFICKIN CLAMIN (MEDELLA TRILOBITA (MEDELLA TRILOBITA (MEDELLA TRILOBITA (LYGORINA SPE) (SYFICKI) MEDICA (SYZYGEN JANDOS AIR POTATO CLIMEIRIG FERN -NED THEE MAY BE PLANTED CLOBER THAN TEN PEET (10") TO ANY MAY ACCEPTAELE PLANT ALTERNATED NED THEE MAY BE PLANTED WITHIN TEN FEET (10") OF ANY E IS MONOED SPECIFYING SPECIFIC MATERIALS, THOSE INSTALLED AS NOTED, WHITTEN ACCEPTANCE FROM THE LANDSCAPE INTERNATE IN ADVISOR Cart State LIERNARE BETTEMENT LUNDSCHRE PLAN: 1 NO THE MAY ANY PLANTS BE ALTENN HEN AN ALTENNATE BETTEMBET LANDSC SPECIFIED ON THE DIVIN JTTORAL PLANTING SCHEDULE ~))094.910. HE POLLOWING PLANT INCTEMALS ARE NOPY ESS MIN. 75% NATIVE UPED TO MEET RECURRENTIAL _____ LIVE OAK* LAUREL OAK* BLACK OLIVE (QUERCUS VIRGINIAN) QUERCUS LAURAFOLI UCERUS "SHINDY LACT ALMOUS THORNAS PONNEDENA SECON SOMPLIE VALIDUS **** CULTIVE U.P (BUCIDA HAHOGANY" SOUTHERN SLASH PINE" CLIMBO LIMBO (SWETENIA MANAGO (PINUS ELLIOTTI WR. DEN (PURSERA SIMBARU EMALL /ACCENT THEER GAN, 78% NATIVE LINED TO M ET RECR) LETTONL CHILDE FLAG WAX MYRTLES WAX MYRTLES WAX LOUGHTRAN YELLOW OR PURPLE TAGEDUN GEIGER THEE PHOEDIN PULMS PITCH APPLES AN HOUR MORE AN (MYRICA CERIFER UNA CARVADA OR MPE DIA SEBASTIANU (00) (CLUSE PALME OWN 80% NATIVE USED OR 75% X 8 FOR CANOPY REORD CABBAGE PALM" ROYAL PALM" KEY THATCH PALM" FOXTAIL PALM GREEN BISMARKIA (SABAL PALMETTO) (ROYSTOMEA NEGA) (THRINAX RADIATA) (WODVETA BIFUNCATA) (BISMARKIA NOBILIS)

SHRUBS OWN, SIX NATIVE USED TO MEET RECUREMENTRY

LITTORAL PLANTINGS & NER STOR NATIVE VARIETIER ONLYS

UNACCEPTABLE PLANT MATERIALS

(CHRYSOBALANUS ICAC) (VIEWRINUM OBO

(CONOCARPUS SPP. (MUHLBERGIA CAPILLARIS (HYMENOCALIS LATIFOLIA (HYMENOCALIS LATIFOLIA (TRIPSACUM DACTYLOIDES (TRIPSACUM FLORIDANA

(PONTEDERA SPP. (SAGITIARIA SPP. (CRINUM AMERICANUM (HYMENOCALIS SPP.

(GREVILLEA ROBUST) BROUSSONETIA PAPYREER

(ARDISIA SPI (ARAUCARIA HETEROPHALI

ILIM CYCLOCARI (MELIA AZEDARI

(JATROPHA HASTATA (NERIUM OLEANDER)

DIOGOOREA BULBIFERA (COLLIBRINA ASIATICA

(EXOTIC SPP.

(LYGODKIM SPP (NIMOSA PIOR (SCAEVOLA FRUTESCENS

(INFSECON (ZANIA MRACANTHES (FORESTERIA

(ILEX VONITORIA - & CULTIV

(SERENCA REPEN COCOLOBA UNIFER

COCOPLIM* WALTERS VIBURIUM SAW PALMETTO* SEAGRAPE* BUTTONWOODS* NUHLY GRASS*

SIMPSONS STOPPER FLORIDA PRIVET* YAUPON HOLLY*

ACKEREL WEED

OOTH CORDOR

ANOPY TREES

SILK OAK MAPER MULBERRY

EAR TREE

RDISIA IORFOLK ISLAND PINE

AIR POTATO LATHER LEAF CLIMENO FERN CATCLAW MIMOSA AUSTRALIAN INIGERITY

ANY NON-NATIVE SPECIES

SHRUPB OF OPOLIND COVERS

RMALL /ACCENT TREER OR LARGE SHELPE

MIROPHA GLEANDER (permitted as optional, not required)

SWAMP LILY*

UCHEE CINISS

PIDER ULY

DAMA OR

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2328 HANCOCK BRIDGE PKNY, SUITE 114 CAPE CORAL, FL 33990

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THE REQUIRED LITTONE FLATE OF SUBSTANTIAL COMPLANCE AS REQUIRED BY THE LOCI. THE REQUIRED LITTONE FLATES ARE PRODUCTO ON THE UNARROWS AS "LIP, LIS, OR LIP". A SELECTION OF NOT LOSS THAN FOUR (4) SPRORES WAT BE BEFUILED AS SPRORED ON THIS SHEEPLINE. COMMINION OF MANUS & THESE MAY BE TAKEN IN TOTAL AND FOUR (4) SPRORES

LAND DEVELOPMENT CODE DOCUMENT CODE DOCUMENTS AUTHORIZED FOR PERMITTING. BIDDING AND CONSTRUCTION PER OWNER.

DA NUMBER.	
LME ONK	10-12H × 4-5% 2 OL 7 CL 200
BAHOON HOLLY	00-10'H x 4-6'S. 2" OL. 3" CT. 200
BILD CYPICIS	10-1214 × 4-82, 2" OL, 3" CT, 380
ND COMINS, AND ADDRESS	ET TO SE FLORIDA NO. 1 QUALITY OR BETTER
DANA, JANAOK HOTTA	16"H X 16"K 30, 24"00
MAC PRIMITE	24"H X 24"B, 30, 38"DC
NED THP COCONLINE	24"H X 24"R 34, 36"00
	THE'S GATOMINES BLEND COMPOSE, MIL 2" DEPICT THROUGHOUP
FLORIDAL	3" CUT 300
रेक स्टाइ	NOT APPLICABLE TO WHILE PROJECT
	THE PERSON IN THE PERSON

THE FLAT WRITELS LIT FOR PLAT SELECTION ON THE PROJECT, MEMORY WRITE/EX NO IVERSE WATER IN MORE

UPON ABIND OF CONTINUET FOR THE WORK DEPICTED BY THERE PENALT DOCUMENTS (A.K.A. CONTINUE by The Day, Plans, Terra, Conditions, and Consigning feren set forth are the sole responsibility of the transmission of the terms of the leg continuement of the sole responsibility of the sole response of the leg continuement sole response of the sole resole resole re NOR LEVEL AND OF CONTINCT FURTHER ACCOUNTS THAT THAT RECEIPTING TO MARKED BY AND A CONTRACT AND A CONTRACT PUBLIC OF AND A CONTRACT PUBLIC OF AND A CONTRACT PUBLIC OF A CONTRACT

THE CONTINUENT SHULL BE RESPONSIBLE FOR THE COSTS AND EXPENSES OF FREMARING THE LEE COUNTY REQUIRED AS-BULL OR IMPOR CHANCE DOCUMENTS THAT SHULL BE RECOVERED BY THE LANDSLIVE AND HERE. THE FEES FOR THIS SHERVE SHULL NOT BE LESS THAT \$500.000 (FLISS AN ADDITIONAL \$100.000 FOR THE MINOR CHANGES APPLICATION FEE, WHERE APPLICABLE) AND SHUL BE AND BY THE CONTINUENCE TO THE UNDERCHART FILMENT FILME AS A PREMICIPANT FOR SUBSTAINT, CONFINING THE WORK ILLISTING HERBIN, ACTUR, MO THAT RESIDENT AND AS A PREMICIPANT FOR SUBSTAINT, CONFINING CONTINUENT APPLICABLES AN ADDITIONAL \$100.000 FOR THE RESERVED BIOD LIFE ON THE WORK REQUIRED AND SALED TO THE CONTINUENT APPLICABLES AND ADDITIONAL THE CONFLICTION OF WICK OR RECENT OF AND AS A PREMICIPANT AND ADDITION OF SALES CONTINUENT APPLICABLES AND ADDITIONAL SALES SHULL BE DETERMINED BIOD LIFE ON THE WORK REQUIRED AND BISLIED TO THE CONTINUENT APPLICABLES AND ADDITIONAL THE CONFLICTION OF WICK OR RECENT OF ADDITION OF THE ADDITION OF THE ADDITION OF THE ADDITION AND ADDITIONAL SALES ADDITION ADDITION AND ADDITIONAL ADDITIONAL ADDITION ADDITION ADDITION ADDITIONAL ADDITIONES ADDITIONAL ADDITIONAL ADDITIONAL ADDITION OF ADDITIONAL ADDITION actor shall be absolved of the responsibility of the appresentioned work, services, and fees if the servicion where directed by the commer or applicant and done so in writing and submitted to the language architect. THE CONTINUETOR MUST ADMENE TO THE FOLLOWING MINIMUM STANDARDS IN ORDER FOR THE DISDUTED WORK TO BE DERIVATED AS COMPLIANT With THE APPROVED DEVELOPMENT ORDER DOCUMENTS AND LEE COUNTY (DC ORDANDLESS OF WHETHER DEVELOPMENT TO THE CONTINUATION DALLE STRUCTURE OR POUR PEET (4") PROM ANY OURS, RED FILM MAY BE FLANTED CLOSER THAN EIGHT FEET (S') TO ANY INNETTABLE STRUCTURE.

NOTE MORNED AS 'LLP' ON THE PLANT ID THE QUARTS MODIFIED TO BE SUPPLIED BY SOUTH PLONDA NUMB

84	2" POY / LINEL, 3'00
) Allah	ST FOT / LINER, STOC
	2" POT / LINER, 3'00
TTALL BULLER	2" POT / LINER, 3'OC
D CONDENSES	2" POT / LINER, 2'00

on the plane id that (plants indicated givel be provided by licensed hursewer).



PERMIT COUNTER

ADD 2007-00144



