

ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA

WHEREAS, Herons Glen Recreation District filed an application for administrative approval to a Residential Planned Development on a project known as Herons Glen Clubhouse Parking **for a deviation from LDC Sec. 10-418(3) for bulkheads to comprise no more than 20% of an individual lake shoreline, to allow 33% bulkhead on a lake shoreline** on property located at 2250 Avenida Del Vera, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 43 South, Range 24 East, Lee County, Florida:

SEE ATTACHED THREE-PAGE "EXHIBIT A"

WHEREAS, the property was originally rezoned in case number 88-3-19 DRI (with subsequent amendments in case numbers 88-3-18(A) DRI; 88-03-18-DRI; DCI964597; ADD2002-00005, ADD2002-00088, ADD2003-00096; ADD2004-00018; ADD2004-00217; ADD2005-00209 and ADD2006-00080); and

WHEREAS, the subject property is located in the Outlying Suburban Future Land Use Category as designated by the Lee Plan; and

WHEREAS, the subject portion of the project is developed as a clubhouse for the Herons Glen residential development; and

WHEREAS, the applicant has requested an administrative amendment to the RPD to allow a portion of an existing man-made lake to be filled and paved to create more parking area in the area of the clubhouse; and

WHEREAS, LDC Sec. 10-418(3) allows up to 20% of an individual lake shoreline to be bulkhead, riprap, or other hardened shoreline structures; and

WHEREAS, the applicant has requested that a bulkhead be allowed on approximately 33% of the total lake perimeter; and

WHEREAS, the applicant indicates that compensatory littoral plantings will result in an increase from one per lineal feet to two per lineal feet of bulkhead to mitigate for the greater bulkhead to total shoreline ratio; and

WHEREAS, the applicant has indicated that the proposed changes will decrease open space within the project; and

WHEREAS, the applicant has provided a three-page "Landscape Code Document," which depicts the locations and varieties of the proposed compensatory littoral plantings; and

WHEREAS, a copy of the "Landscape Code Document" is attached as "Attachment A," and

WHEREAS, the applicant has supplied a copy of a Revised Master Concept Plan depicting the location of the proposed bulkhead and the proposed replacement lake, attached hereto as "Attachment B;" and

WHEREAS, the applicant has indicated that a Limited Review Development Order (LDO2006-00476) has been filed on the property; and

WHEREAS, approval of LDO2006-00476 is pending approval of the subject deviation to allow an increased percentage of bulkhead on the shoreline; and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject application and plans have been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval **for a deviation from LDC Sec. 10-418(3) for bulkheads to comprise no more than 20% of an individual lake shoreline, to allow 33% bulkhead on a lake shoreline** in a Residential Planned Development is **APPROVED**, subject to the following conditions:

1. **The only change granted by this administrative amendment is the allowance of up to 33% of the shoreline around the lake near the clubhouse to be bulkheaded, with additional plantings to be provided around the littoral shelf, as shown on the "Landscape Code Document" "Attachment A." No other changes have been approved.**
2. **Prior to local development order approval, the development order plans must delineate:**
 - a) **The bulkhead percent of 33% as calculated using the entire length of the structure being 155 ft. and lake perimeter of 483 ft.**
 - b) **A compensatory littoral zone equal to the linear footage of the bulkhead within the same lake meeting the following criteria:**
 - i. **A five-foot wide littoral shelf planted with herbaceous wetland plants to provide 50% coverage at time of planting; or**

ii. An 8:1 slope littoral shelf with herbaceous wetland plants to provide 50% coverage at the time of planting; or

iii. An equivalent littoral shelf design as approved by the director.

c) A minimum required number of native wetland herbaceous plantings at two (2) plants per linear foot of lake shoreline as measured at the control elevation water level.

3. The terms and conditions of the original zoning resolutions remain in full force and effect, except as herein amended.

DULY SIGNED this 20th day of September, A.D., 2007.

BY: _____


Pam Houck, Director
Division of Zoning
Department of Community Development

EXHIBIT A

JRI Engineering, Inc.

Site Planning and Engineering Surveying & Mapping Aerial Photography and Photogrammetry Services

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AUG 09 2007

LEGAL DESCRIPTION

HERON'S GLEN

COMMUNITY DEVELOPMENT

A parcel of land being a portion of sections 2,3,4,5 and 10, township 43 south, range 24 east, Lee County Florida, being more particularly described as follows:

COMMENCE at the northeast corner of the aforementioned section 3; thence, along the north line of the northeast one-quarter of said section 3, N89°57'30"W, 355.01 feet to an intersection with the westerly right-of-way line of the former S.A.L. Railroad and the POINT OF BEGINNING; thence, continue along the north line of the northeast one-quarter of said section 3, N89°57'30"W, 2313.55 feet to the northeast corner of the northwest one-quarter of said section 3; thence, along the north line of the northwest one-quarter of said section 3, S89°48'39"W, 2667.53 feet to the northeast corner of the aforementioned section 4; thence, along the northerly boundary of Del Vera Country Club, Unit 2 as recorded in Plat Book 50 at pages 69 through 78 of the Public Records of Lee County, Florida, and the north line of said section 4, N89°42'39"W, 3036.29 feet; thence, along the boundary of Del Vera Country Club, Unit 1 as recorded in Plat Book 46 at pages 7 through 25 of the Public Records of Lee County, Florida, for the following nine (9) courses:

1. N89°42'40"W, 2299.67 feet;
2. S89°33'20"W, 1871.76;
3. S26°03'40"E, 318.64 feet;
4. S63°56'20"W, 300.77;
5. thence along the arc of a non-tangent circular curve concave to the southwest having for its elements a radius of 7739.44 feet, a central angle of 00°42'56", a chord bearing of S26°25'08"E, an chord distance of 96.66 feet, an arc distance 96.66 feet;
6. S26°03'40"E, 1943.40 feet;
7. N63°56'20"E, 300.17 feet;
8. N26°03'40"W, 4.46 feet;
9. N89°48'47"E, 2854.47 feet;

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thence S00°11'07"E, 335.36 feet; thence N89°48'53"E, 60.00 feet; thence S00°11'07"E, 600.00 feet; thence along the arc of a tangent curve concave to the Northeast, having for its elements a radius of 236.25', a central angle of 31°56'42", a chord of 130.02 feet, a chord bearing of S16°09'28"E, an arc distance of 131.72 feet; thence N89°48'53"E, 39.71 feet; thence S00°11'07"E, 125.00 feet; thence S89°48'53"W, 35.48 feet; thence S00°11'07"E, 650.00 feet; thence S89°48'53"W, 25.00 feet; thence S00°11'07"E, 205.00 feet; thence along the south line of lands described in Deed Book 224 at page 437 of the aforementioned public records, S89°48'47"W, 2273.40 feet; thence, along the northeasterly right-of-way line of Tamiami Trail

Applicant's Legal Checked

by 8/10/2007 Csj

(Continued from page 1)

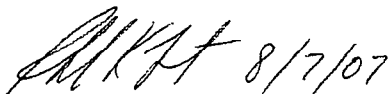
(S.R. 45, US 41), S26°03'40"E, 370.00 feet; thence N89°48'47"E, 3845.26 feet; thence N00°11'13"W, 332.91 feet; thence, along the south line of lands described in Deed Book 224 at page 437 of the aforementioned public records, N89°48'47"E, 4368.87 feet to an intersection with the northerly extension of the west line of lands described in Official Records Book 388 at page 80 of the aforementioned public records; thence, along said northerly extension and said west line, S00°02'36"W, 2451.41 feet; thence, along the north right-of-way line of Nalle Grade Road, as described in Official Records Book 1096 at page 1784 of the aforementioned public records, S89°56'45"E, 2153.08 feet; thence, along the east line of lands described in Official records Book 1516 at page 1802 of the aforementioned public records; N00°02'36"E, 2460.47 feet; thence, along the south line of lands described in Deed Book 224 at page 437 of the aforementioned public records, N89°48'47"E, 775.85 feet; thence along the westerly right-of-way line of the former S.A.L. Railroad, N11°11'01"W, 4190.51 feet to the POINT OF BEGINNING.

Said parcel contain 1150.961 acres, more or less.

Subject to easements, restrictions, reservations and rights of way of record.

Bearings are based on the plat of Del Vera Country Club Unit 2 (Plat Book 50, Pages 69 thru 78) fixing the north line as N89°42'39"W

JRI ENGINEERING, INC.:

 8/7/07

Ronald Kerfoot
Professional Land Surveyor
Florida Certificate No. 2994

Date: August 7, 2007

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COMMUNITY DEVELOPMENT

ADD 2007-00144

ADD 2007-00144

LEGEND:
OR OFFICIAL RECORD BOOK
PG PAGE
DB DEED BOOK

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COMMUNITY DEVELOPMENT

NOTES:

1. THIS IS A SKETCH AND IS NOT A SURVEY.
2. SEE ACCOMPANYING LEGAL DESCRIPTION.
3. SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS OF WAY OF RECORD.
4. SUBJECT TO FEDERAL, STATE AND LOCAL JURISDICTION LINES, ZONING AND OTHER REQUIREMENTS OF RECORD OR IN FORCE.
5. BEARINGS ARE BASED ON THE PLAT OF DEL VERA COUNTRY CLUB, UNIT 2 (PLAT BOOK 50, PAGES 69 THRU 78) FIXING THE NORTH LINE OF UNIT 2 AS N89°42'39"W.
6. THIS SKETCH HAS BEEN PREPARED BY INFORMATION FURNISHED BY OTHERS AND IS NOT A CERTIFICATION OF TITLE, GUARANTEE OR OWNERSHIP OR FREEDOM FROM ENCUMBRANCES.
7. THIS SKETCH IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

LINE TABLE		
LINE	LENGTH	BEARING
L1	205.00'	S00°11'07"E
L2	25.00'	S89°48'53"W
L3	650.00'	S00°11'07"E
L4	35.48'	S89°48'53"W
L5	125.00'	S00°11'07"E
L6	39.71'	N89°48'53"E
L7	600.00'	S00°11'07"E
L8	60.00'	N89°48'53"E
L9	335.37'	S00°11'07"E

CURVE TABLE

NO.	RADIUS	DELTA	ARC	CHORD	CHORD BEARING
1	7739.44'	00°42'56"	96.66'	96.66'	S26°25'08"E
2	236.25'	31°56'42"	131.72'	130.02'	S16°09'28"E

JRI Engineering, Inc.
Planning Engineering Surveying Aerial Photography & Photogrammetry Services
2328 Hancock Bridge Parkway, Ste. 114, Cape Coral, Florida 33909
Phone: 239.458.5544 Fax: 239.458.2233 www.jriengineeringinc.com
Surveying Business Certificate of Authorization No. 6673

HERONS GLEN RECREATION DISTRICT
2250 AVENIDA DEL VERA
NORTH FORT MYERS, FLORIDA 33917
PHONE: (239) 731-4573

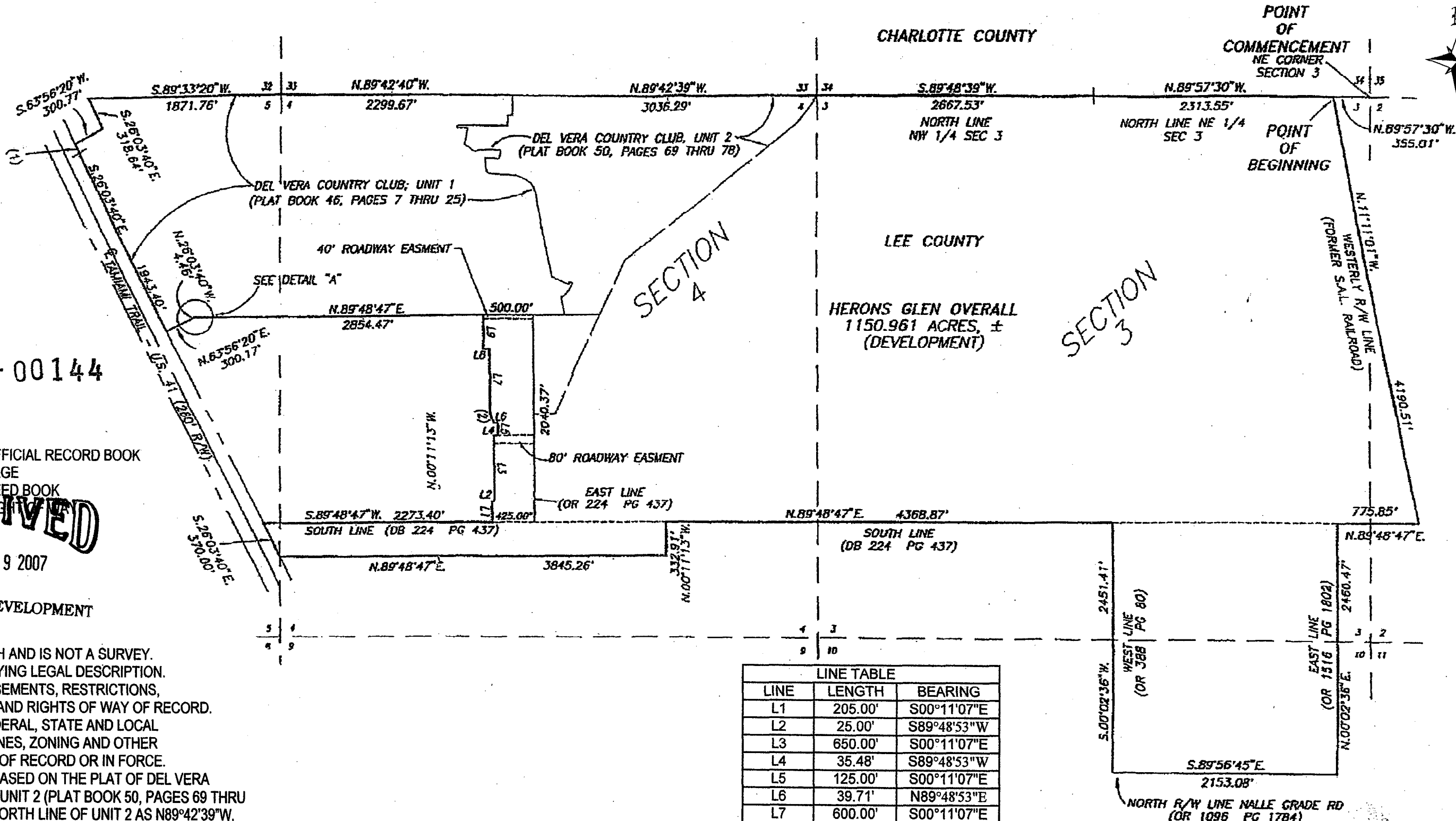
HERONS GLEN
SKETCH OF DESCRIPTION

SCALE: 1"=1000'
DATE: 08/07/07
SHEET: 1 OF 1
FILE NO.: HGRD

Date: August 7, 2007
Ronald Kerfoot
Professional Land Surveyor
Florida Certificate No. 2994

Applicant's Legal Checked
by CA 8/10/2007

JRI ENGINEERING, INC.



REQUIREMENTS OF THE LEE COUNTY LAND DEVELOPMENT CODE:

ZONING RESOLUTIONS:

ZONING RESOLUTIONS AS APPROVED BY THE LEE COUNTY BOARD OF COUNTY COMMISSIONERS SHALL TAKE PRECEDENCE OVER THE LEE COUNTY LDC AS DEFINED BY ANY RELATIVE ZONING RESOLUTION. THE CONDITIONS AND FIGURES USED IN THE TABULATIONS FOR THIS PROJECT ARE SUPERSEDED, AS APPLICABLE, BY:

ZONING RESOLUTION NUMBER:

N/A

CURRENT PROJECT ZONING:

COM

SPECIAL CONDITIONS:

ANY SPECIAL CONDITIONS MADE PART OF THE AFOREMENTIONED ZONING RESOLUTION, AS APPLICABLE, ARE NOTED WITH EACH SPECIFIC SECTION THAT THEY APPLY TO BELOW.

NOT APPLICABLE AT THIS TIME

SECTION 10-415 OPEN SPACE:

ALL PROJECTS LOCATED WITHIN THE UNINCORPORATED LIMITS OF LEE COUNTY MUST CONTAIN, THE MINIMUM, PERCENTAGE OF OPEN SPACE AS OUTLINED BY THE FOLLOWING TABULATION:

OPENSPACE REQUIREMENT IS SATISFIED BY EXISTING D.O.

SECTION 10-416 LANDSCAPE STANDARDS:

GENERAL LANDSCAPING FOR ALL NEW DEVELOPMENTS, EXCEPT COMMUNITY AND REGIONAL PARKS AS DEFINED IN THE LDC PLAN, MUST INCLUDE, AT A MINIMUM, THE FOLLOWING NUMBER OF TREES, IN ADDITION TO THE LANDSCAPING REQUIRED FOR VEHICULAR USE AREAS (PARKING) AND BUFFERS. EXISTING WATER BODIES WITHIN THE SUBJECT DEVELOPMENT AREA WILL NOT BE INCLUDED IN THE CALCULATION FOR REQUIRED GENERAL TREES.

SPECIAL CONSIDERATIONS (LANDSCAPE):

SECTION 10-416(a) GENERAL TREES:

NO ADDITIONAL TREES ARE REQUIRED FOR THIS PROJECT

SECTION 10-416(b) BUILDING PERIMETER PLANTINGS:

BUILDING PERIMETER PLANTINGS REQUIRED:

YES/NO

NO BUILDING PERIMETER LANDSCAPING IS REQUIRED FOR THIS PROJECT

COMPENSATORY LITTORAL PLANTINGS

COMPENSATORY LITTORAL PLANTINGS WERE ADDED TO HELP OFFSET THE LINEAR FEET OF BALMISED ON LAKES #1 & #2

SECTION 10-416(c) LANDSCAPING OF PARKING & VEHICULAR USE AREAS:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): YES/NO
ALL PROJECT WITHIN THE LIMITS OF LEE COUNTY MUST PROVIDE LANDSCAPING AND TREE CANOPY TO OFFSET THE RADIANT HEAT AND PROVIDE VISUAL RELIEF AND TO CHANNELIZE AND DEFINE LOGICAL AREAS FOR PEDESTRIAN AND VEHICULAR CIRCULATION AS FOLLOWS:

VEHICULAR USE AREAS:

TOTAL VEHICULAR USE AREA(S): 44,884 SF X 10% = 4,488 SF
REQUIRED INTERNAL LANDSCAPE AREA(S): 4,488 SF

TOTAL INTERNAL LANDSCAPE AREA(S) PROVIDED: 4,500 SF

REQUIRED CANOPY TREE CALCULATIONS: 4,500 SF / 250 = 18 TREES
REQUIRED CANOPY TREES: 18 TREES

TOTAL CANOPY TREES PROVIDED: 20 TREES

SECTION 10-416(d) BUFFERING ADJACENT PROPERTY:

A BUFFERING AREA IS REQUIRED ALONG THE ENTIRE PERIMETER OF THE PROPOSED DEVELOPMENT WHENEVER THE PROPOSED DEVELOPMENT A BUTS A DIFFERENT USE (ONLY REQUIRED BUFFERS ILLUSTRATED BELOW)

NO BUFFERS ARE REQUIRED FOR THIS PROJECT.

SECTION 10-417. IRRIGATION DESIGN STANDARDS:

SEE THE IRRIGATION DESIGN GUIDELINES AND REQUIREMENTS ON SHEET LC-4

SECTION 10-418. STORMWATER PONDS:

DESIGN STANDARDS: TECHNIQUES TO MIMIC THE FUNCTION OF NATURAL SYSTEMS IN STORMWATER MANAGEMENT PONDS ARE MINIMALLY DEFINED BELOW, WHERE AND WHEN APPLICABLE.

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): YES

DESIGN STANDARDS AND PLANTING REQUIREMENTS:

SHORELINE CONFIGURATION: SHORELINES MUST BE SINUOUS IN CONFIGURATION TO PROVIDE INCREASED LENGTH AND DIVERSITY OF THE LITTORAL ZONE SINUOUS IS DEFINED AS SERPENTINE, BENDING IN AND OUT, WAVY OR WINDING.

MINIMUM PLANTING STANDARDS: THE FOLLOWING ARE CONSIDERED SUFFICIENT TO MIMIC THE FUNCTION OF NATURAL SYSTEMS IN PONDS WITH SLOPES FROM 0:1 TO NOT MORE THAN 4:1.

1. SHORELINES MUST BE SLOPED OR BEHIND TO DIRECT STORMWATER THROUGH PRETREATMENT SYSTEMS OR SWALES PRIOR TO DISCHARGE INTO THE POND.
2. THE MINIMUM NUMBER OF NATIVE WETLAND PLANTS IS ONE PLANT PER LINEAR FOOT OF LAKE SHORELINE MEASURED FROM THE CONTROL ELEVATION. NATIVE WETLAND TREES AND SHRUBS MAY BE SUBSTITUTED FOR UP TO 25% FOR THE TOTAL NUMBER OF REQUIRED LITTORAL PLANTS. 1 TREE OR 2 SHRUBS MAY BE SUBSTITUTED FOR 10 HERBACEOUS LITTORAL PLANTS.
3. PLANTS MUST BE INSTALLED IN CLUSTERS AROUND THE LAKE PERIMETER. CLUSTERS MUST CONTAIN A MINIMUM OF 25 PLANTS WITHIN A 50 SF AREA. PLACEMENT OF PLANTINGS AT INFALL AND OUTFALL STRUCTURES IS STRONGLY ENCOURAGED.
4. AT LEAST 4 SPECIES OF HERBACEOUS PLANTS MUST BE PLANTED.
5. A MINIMUM OF 80% SURVIVABILITY AFTER 1 YEAR IS REQUIRED FOR HERBACEOUS LITTORAL PLANTS. WETLAND TREES AND SHRUBS MUST BE MAINTAINED IN PERPETUITY AS DEFINED IN SECTION 10-421(f).

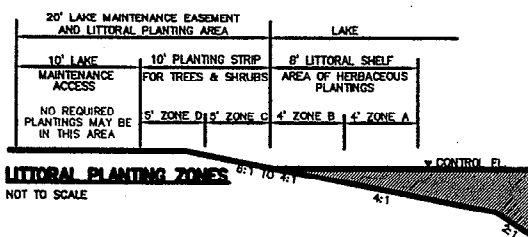
LITTORAL PLANTING ZONE DIAGRAM

THE FOLLOWING DIAGRAM SHALL DEFINE THE METHODOLOGY FOR INSTALLING THE REQUIRED LITTORAL ZONE PLANTINGS. SEE THE PLANT SCHEDULE ON SHEET LC-5 HEREIN INCLUDED.

IMPORTANT NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL CLOSELY FOLLOW THE LAYOUT AND ARRANGEMENT OF THE LITTORAL PLANTINGS SHOWN ON THE PLANS AND DEFINED HEREIN. LINEAR PLANTING AND SERPENTINE DEVIATIONS FROM THE PLANS AND STANDARDS DEFINED HEREIN SHALL REQUIRE THE RE-EXECUTION OF WORK BY THE CONTRACTOR AT THEIR TIME & EXPENSE. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR ANY SIGNIFICANT DEVIATIONS THAT MAY BE REQUIRED. THE PREPARATION & SUBMITTAL OF AS-BUILT DOCUMENTS BY THE LANDSCAPE ARCHITECT AND SHALL BEAR THE COSTS OF SAID DOCUMENTS.

THE FEE FOR AS-BUILT DOCUMENTS SHALL BE NOT LESS THAN \$500.00 AND SHALL BE PAID BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT PRIOR TO & AS A PRECONDITION FOR SUBSTANTIAL COMPLIANCE. UNLESS THE DEVIATIONS FROM THE APPROVED DEVELOPMENT ORDER DOCUMENTS WERE DIRECTED BY THE APPLICANT/OWNER.



LITTORAL PLANTING ZONES

NOT TO SCALE

LAKE LITTORAL PLANTING CALCULATIONS

THE FOLLOWING CALCULATION APPLY TO THE LAKES APPLICABLE TO THIS PROJECT SITE:

LAKE NO. 1	612 LF OF SHORELINE
REQUIRED LITTORAL PLANTS:	1 PLANT PER LF OF SHORELINE = 612 PLANTS
DEEP LAKE MANAGEMENT NATIVE TREES REQUIRED:	NO
LAKE AERATOR/DIFFUSER REQUIRED:	NO
PROPOSED BULKHEAD	180 LF OF PROPOSED BULKHEAD (3200)
REQUIRED BULKHEAD PLANTINGS	2 PLANTS PER LF OF BULKHEAD = 360 PLANTS
TOTAL LITTORAL PLANTS REQUIRED:	972 PLANTS
PLANTS PROVIDED LAKE 1	925 PLANTS

THE FOLLOWING CALCULATION APPLY TO THE LAKES APPLICABLE TO THIS PROJECT SITE:

LAKE NO. 2	1294 LF OF SHORELINE
REQUIRED LITTORAL PLANTS:	1 PLANT PER LF OF SHORELINE = 1,294 PLANTS
DEEP LAKE MANAGEMENT NATIVE TREES REQUIRED:	NO
LAKE AERATOR/DIFFUSER REQUIRED:	NO
PROPOSED BULKHEAD	N/A
REQUIRED BULKHEAD PLANTINGS	N/A
TOTAL LITTORAL PLANTS REQUIRED:	1,294 PLANTS
PLANTS PROVIDED LAKE 2	1,294 PLANTS

SECTION 10-420. PLANT MATERIAL STANDARDS:

SEE SHEET LC-3 FOR THE COMPLETE PLANT MATERIAL STANDARDS DEFINED BY BOTH LEE COUNTY AND THESE PERMIT DOCUMENTS.

GENERAL MINIMUM REQUIREMENTS FOR PLANT MATERIALS:

1. NO PLANT MATERIAL INSTALLED IN REFERENCE TO LEE COUNTY CODE REQUIREMENTS MAY BE PLANTED IN EASEMENTS.
2. ALL PLANT MATERIAL INSTALLED IN REFERENCE TO LEE COUNTY CODE REQUIREMENTS SHALL BE XERISCAPE VARIETIES AS DEFINED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
3. ALL PLANT MATERIAL INSTALLED IN REFERENCE TO LEE COUNTY CODE REQUIREMENTS SHALL RESPOND TO THE FOLLOWING MINIMUM PLANT REQUIREMENTS:
MINIMUM PERCENTAGE OF NATIVE TREES SHALL BE 70%
MINIMUM PERCENTAGE OF NATIVE SHRUBS SHALL BE 80%
MINIMUM PERCENTAGE OF NATIVE PALMS FOR REQUIRED TREES SHALL NOT EXCEED 60%
(NOTE: THREE (3) PALMS MUST BE EXCHANGED FOR EACH REQUIRED CANOPY TREE, WHERE APPLICABLE)
4. SEE PLANT LIST FOR MINIMUM PLANT MATERIAL SPECIFICATIONS AND NATIVE MATERIAL ADHERENCE.
5. SEE PLANTING DETAILS, CONSTRUCTION NOTES AND CONDITIONS HEREIN INCLUDED PRIOR TO EXECUTION OF WORK.
6. NOTE: ALL PLANTS IN ADDITION TO THOSE REQUIRED ARE AT THE OPTION OF THE OWNER.

GENERAL MINIMUM PLANT STANDARDS AND DOCUMENT CONDITIONS:

1. BOX OF TREES PLANTED TO MEET THE REQUIREMENTS OF THE LDC SHALL BE AT A MINIMUM 10", 4", AND 2" CAL. (1" ABOVE GROUND) AT THE TIME OF PLANTING. SEE PLANT SCHEDULE FOR SPECIFICATIONS.
2. SHRUBS MUST BE A MINIMUM OF 24 INCHES (48 INCHES FOR TYPE F BUFFERS) IN HEIGHT, ABOVE THE ON-SITE ADJACENT PAVEMENT SURFACE REQUIRED TO BE BUFFERED AND/OR SCREENED, WHEN MEASURED AT TIME OF PLANTING. THEY MUST BE A MINIMUM THREE-GALLON CONTAINER SIZE AND BE SPACED 18 TO 24 INCHES ON CENTER. THEY MUST BE AT LEAST 34 INCHES (50 INCHES FOR TYPE F BUFFERS) IN HEIGHT WITHIN 12 MONTHS OF TIME OF PLANTING AND MAINTAINED IN PERPETUITY AT A HEIGHT OF NO LESS THAN 36 INCHES (50 INCHES FOR TYPE F BUFFERS) ABOVE THE ADJACENT PAVEMENT REQUIRED TO BE BUFFERED AND/OR SCREENED, EXCEPT FOR VISIBILITY AT INTERSECTIONS AND WHERE PEDESTRIAN ACCESS IS PROVIDED. REQUIRED HEDGES MUST BE PLANTED IN DOUBLE STAGGERED ROWS AND MAINTAINED 30 AS TO FORM A CONTINUOUS, UNBROKEN, SOLID VISUAL SCREEN WITHIN A MINIMUM OF ONE YEAR AFTER TIME OF PLANTING.
3. ALL SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THE LDC BUDG. PERIMETER LANDSCAPE AREA REQUIREMENTS SHALL INCLUDE NOT MORE THAN 10% OF THE AREA DESIGNATED TO BE PLANTED IN SOO AND SHALL INCLUDE A MIXTURE OF SHRUBS AND ORNAMENTAL CACTUS.
4. NOT LESS THAN 70% OF THE REQUIRED TREES AND 80% OF THE REQUIRED SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THE LDC SHALL BE NATIVE SPECIES CONGRUOUS TO THE GEOGRAPHIC LOCATION OF THE SITE. (SEE RECOMMENDED PLANT LIST FOR ACCEPTABLE ALTERNATIVES)
5. CONTRACTOR SHALL NOTE AND ACKNOWLEDGE THAT THESE APPROVED DEVELOPMENT ORDER DOCUMENTS INCLUDE SUPPORTING CALCULATIONS, SPECIFICATIONS, AND REQUIREMENTS NOT ILLUSTRATED ON THIS INDIVIDUAL SHEET, HOWEVER, ARE MADE PART OF THE REQUIREMENTS OF WORK ON THIS PROJECT.
6. ALL PLANT MATERIAL FOR THIS PROJECT SHALL BE FLORIDA NO. 1 QUALITY (UNLESS OTHERWISE SPECIFIED AS FLORIDA (FANCY) AS DEFINED BY GRADING & STANDARDS FOR LANDSCAPE PLANTS (LATEST EDITION).

SECTION 10-421. PLANT INSTALLATION & MAINTENANCE STANDARDS:

SEE SHEET LC-3 FOR THE PLANT INSTALLATION & MAINTENANCE STANDARDS DEFINED BY BOTH LEE COUNTY & THESE PERMIT DOCUMENTS.

LEGEND

SEE SHEET LC-1 OR LC-3 FOR THE GRAPHIC LEGEND RELATIVE TO THESE PERMIT DOCUMENTS, WHICHEVER IS APPLICABLE.

CONCEPTUS

Land Architectural Technologies Inc.

2140 McGregor Blvd. Suite 2
Fort Myers, Florida 33901

Phone: 239.334.9144

Fax: 239.334.9590

WEB: www.CLAT.com

Email: mail@CLAT.com

HERONS GLEN
RECREATIONAL DISTRICT - CLUBHOUSE EXPANSION

PREPARED FOR:

JRI ENGINEERING, INC.

2328 HANCOCK BRIDGE PKWY., SUITE 114
CAPE CORAL, FLORIDA 33909

ADD 2007-00144

RECEIVED
AUG 01 2007
PERMIT COUNTER

Sheet Title:

LANDSCAPE CODE DOCUMENT

Registration:

JUN 28 2007

WILLIAM E. FRYE, RLA, ASLA
FLORIDA LICENSE NO. 608102

Notice of Copyright:

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PREPARED BY:	DATE:
DESIGNED BY:	4/28/07
CHECKED BY:	
PROJECT NO.:	
FILE NO.:	
DATE OF PREPARATION:	
DATE OF REVISION:	

Sheet No.:

LC-2

Applicant / Project Development:
HERONS GLEN REC DISTRICT
2250 AVENIDA DEL VERA NORTH FORT MYERS, FL 33917

Engineer:
JRI ENGINEERING, INC.
2328 HANCOCK BRIDGE PKWY., SUITE 114 CAPE CORAL, FL 33909

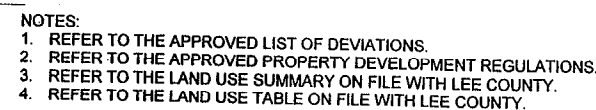
Document Status:
LAND DEVELOPMENT CODE DOCUMENT
CODE DOCUMENTS AUTHORIZED FOR PERMITTING, BIDDING AND CONSTRUCTION PER OWNER.

SCALE: NTS

[illegible]



(IN FEET)
1 inch = 500 ft.



LEGEND
R INDICATES RESIDENTIAL
RO INDICATES RECREATION/OPEN SPACE
CO INDICATES CONSERVATION AREAS

RECEIVED
SEP 21 2007
ZONING

			<p>JRI Engineering, Inc. Planning Engineering Surveying Aerial Photography & Photogrammetry Services 2328 Hancock Bridge Parkway, Ste. 114, Cape Coral, Florida 33990 Phone: 239-458-5544 Fax: 239-458-2233 www.jriengineeringinc.com Engineering Business Certificate of Authorization No. 5424</p>	<p>HERONS GLEN RECREATION DISTRICT 2250 AVENIDA DEL VERA NORTH FORT MYERS, FLORIDA 33917 PHONE: (239) 731-4573</p>	<p>HERONS GLEN CLUBHOUSE REVISED MASTER CONCEPT PLAN FOR ZONING AMENDMENT TO LDC CHAPTER 10-418(3) BULKHEADS</p>	SCALE:
						DATE: 07/31/07
						SHEET: 1 OF 1
NO.	DATE	REV.	FILE NO.: HGRD			